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RESIDENTIAL INSPECTION

1234 Main Street
Bluemont, VA 20135

Buyer Name
03/03/2025 9:00AM

Inspector
Tim Diviney
+15712587650
tim@1truenorth.com

Agent
Agent Name
555-555-5555
agent@spectora.com

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1: INSPECTION DETAILS

Information

In Attendance
Client's Agent

Temperature (approximate)
43 Fahrenheit (F)

Weather Conditions
Clear

Occupancy
Vacant

Style
Colonial

Type of Building
Single Family

2: MAIN ROOF

		IN	NI	NP	D	Marginal	Safety	Age
2.1	Pictures	X						
2.2	Coverings				X			
2.3	Roof Drainage Systems	X						
2.4	Flashings					X		
2.5	Skylights & Other Roof Penetrations	X						

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Inspection Method
Roof

Roof Type/Style
Gable

Coverings: Material
Fiberglass

Roof Drainage Systems: Gutters
Aluminum

Roof Drainage Systems: Downspouts
Aluminum

Roof Drainage Systems: Leaders/Extensions
PVC

Flashings: Material
Missing

Skylights & Other Roof Penetrations: Skylights
None

Skylights & Other Roof Penetrations: Electrical Service
Underground

Pictures: Overview Pictures

Roof Drainage Systems: Valleys

Fiberglass Shingle

Skylights & Other Roof Penetrations: Plumbing Vents

PVC & Metal



Observations

2.2.1 Coverings

SHINGLES MISSING

Repair Needed

RIGHT SIDE OF CENTER DORMER

Observed areas that appeared to be missing sufficient coverings. Recommend qualified roofing contractor evaluate & repair.

Recommendation

Contact a qualified roofing professional.



2.2.2 Coverings

DETERIORATED / DEGRANULATED SHINGLES

Repair Needed

ACROSS ENTIRE ROOF

Observed shingles that were deteriorating and/or degranulated. This is an indication of age and that the shingles may be near the end of their useful life. Recommend a licensed roofer to evaluate.

Recommendation

Contact a qualified roofing professional.


2.2.3 Coverings

Repair Needed

SHINGLES NOT SEALED

ACROSS ENTIRE ROOF

Observed multiple shingles that were no longer sealed, stuck together. This is an indication that the roof may be near the end of its useful life. Recommend a licensed roofer to evaluate.

Recommendation

Contact a qualified roofing professional.

2.4.1 Flashings

Repair Needed

MISSING DRIP EDGE

Drip edge flashing prevents water from getting to and rotting the edge of the roof sheathing. This roof was likely installed before this was required, recommend that it be installed when the roof is replaced.

Recommendation

Contact a qualified roofing professional.

3: GARAGE ROOF

		IN	NI	NP	D	Marginal	Safety	Age
3.1	Pictures	X						
3.2	Coverings					X		
3.3	Roof Drainage Systems					X		
3.4	Flashings					X		
3.5	Skylights & Other Roof Penetrations	X						

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Inspection Method
Roof

Roof Type/Style
Shed

Coverings: Material
Fiberglass

Roof Drainage Systems: Valleys
None

Roof Drainage Systems: Gutters
Aluminum

Roof Drainage Systems: Downspouts
Aluminum

Roof Drainage Systems: Leaders/Extensions
PVC

Flashings: Material
Aluminum

Skylights & Other Roof Penetrations: Skylights
None

Skylights & Other Roof Penetrations: Plumbing Vents
None

Skylights & Other Roof Penetrations: Electrical Service
None

Pictures: Overview Pictures

Observations

3.2.1 Coverings

Repair Needed

SHINGLES NOT SEALED

Observed multiple shingles that were no longer sealed, stuck together. This is an indication that the roof may be near the end of its useful life. Recommend a licensed roofer to evaluate.

Recommendation

Contact a qualified roofing professional.

3.3.1 Roof Drainage Systems

Repair Needed

DEBRIS

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

Here is a DIY resource for cleaning your gutters.

Recommendation

Recommended DIY Project

3.4.1 Flashings

Repair Needed

MISSING DRIP EDGE

Drip edge flashing prevents water from damaging the edges of the roof sheathing

Recommendation

Contact a qualified roofing professional.

4: REAR BUMP OUT ROOF

		IN	NI	NP	D	Marginal	Safety	Age
4.1	Pictures	X						
4.2	Coverings	X						
4.3	Roof Drainage Systems					X		
4.4	Flashings					X		
4.5	Skylights & Other Roof Penetrations	X						

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Information

Inspection Method
Ground, Ladder

Roof Type/Style
Gable

Coverings: Material
Fiberglass

Roof Drainage Systems: Valleys
None

Roof Drainage Systems: Gutters
None

Roof Drainage Systems: Downspouts
None

Roof Drainage Systems: Leaders/Extensions
None

Flashings: Material
Missing

Skylights & Other Roof Penetrations: Skylights
None

Skylights & Other Roof Penetrations: Plumbing Vents
PVC

Skylights & Other Roof Penetrations: Electrical Service
None

Pictures: Overview Pictures

Observations

4.3.1 Roof Drainage Systems

Repair Needed

GUTTERS MISSING

There are no gutters present. Gutters are recommended because they collect rain water from the roof and direct it away from the building.

Recommendation

Contact a qualified handyman.

No Gutters

No Gutters

4.4.1 Flashings

Repair Needed

MISSING KICK OUT FLASHING

There was no kick out flashing present. Kick out flashing should be present when a roof ends adjacent to a vertical section of wall. It prevents water from getting behind the gutter and possibly behind the siding material

Recommendation

Contact a qualified roofing professional.

5: FRONT DORMER ROOF

		IN	NI	NP	D	Marginal	Safety	Age
5.1	Pictures	X						
5.2	Coverings	X						
5.3	Roof Drainage Systems			X				
5.4	Flashings	X						
5.5	Skylights & Other Roof Penetrations			X				

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Inspection Method
Ground, Adjacent Roof

Roof Type/Style
Gable

Coverings: Material
Standing Seam Metal

Roof Drainage Systems: Valleys
None

Roof Drainage Systems: Gutters
None

Roof Drainage Systems: Downspouts
None

Roof Drainage Systems: Leaders/Extensions
None

Flashings: Material
Copper

Skylights & Other Roof Penetrations: Skylights
None

Skylights & Other Roof Penetrations: Plumbing Vents
None

Skylights & Other Roof Penetrations: Electrical Service
None

Pictures: Overview Pictures

6: SIDE DORMER ROOF

		IN	NI	NP	D	Marginal	Safety	Age
6.1	Pictures	X						
6.2	Coverings	X						
6.3	Roof Drainage Systems			X				
6.4	Flashings					X		
6.5	Skylights & Other Roof Penetrations			X				

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Inspection Method
Ground

Roof Type/Style
Gable

Coverings: Material
Fiberglass

Roof Drainage Systems: Valleys
None

Roof Drainage Systems: Gutters
None

Roof Drainage Systems: Downspouts
None

Roof Drainage Systems: Leaders/Extensions
None

Flashings: Material
Missing

Skylights & Other Roof Penetrations: Skylights
None

Skylights & Other Roof Penetrations: Plumbing Vents
None

Skylights & Other Roof Penetrations: Electrical Service
None

Pictures: Overview Pictures

Limitations

Pictures

HEIGHT & SLOPE

Unable to view the Center area of the roof due to the height of the dormer, the uneven ground slope, and the proximity of the neighbors house

Observations

6.4.1 Flashings

Repair Needed

MISSING KICK OUT FLASHING

There was no kick out flashing present. Kick out flashing should be present when a roof ends adjacent to a vertical section of wall. It prevents water from getting behind the gutter and possibly behind the siding material

Recommendation

Contact a qualified roofing professional.

7: GAS FIREPLACE CHIMNEY

		IN	NI	NP	D	Marginal	Safety	Age
7.1	Construction	X						
7.2	Crown	X						
7.3	Flue	X						
7.4	Flashing	X						
7.5	Cricket			X				

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures

Construction: Material
Vinyl & Frame Covered 3 Wall Pipe

Crown: Material
Shingle

Flue: Material
Metal

Flashing: Material
Metal

Cricket: Material
Not Applicable

8: FURNACE / WATER HEATER CHIMNEY

		IN	NI	NP	D	Marginal	Safety	Age
8.1	Construction	X						
8.2	Crown			X				
8.3	Flue	X						
8.4	Flashing	X						
8.5	Cricket			X				

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures

Construction: Material
Metal

Crown: Material
Not Applicable

Flue: Material
Metal

Flashing: Material
Metal

Cricket: Material
Not Applicable

9: MAIN ATTIC

		IN	NI	NP	D	Marginal	Safety	Age
9.1	Roof Structure & Attic				X			
9.2	Access				X			
9.3	Insulation	X						
9.4	Ventilation	X						
9.5	Electrical	X						
9.6	Pests							

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Information

Roof Structure & Attic: Sheathing
OSB

Roof Structure & Attic: Framing
2X4 Truss

Access: Type
Drop Down Stairs

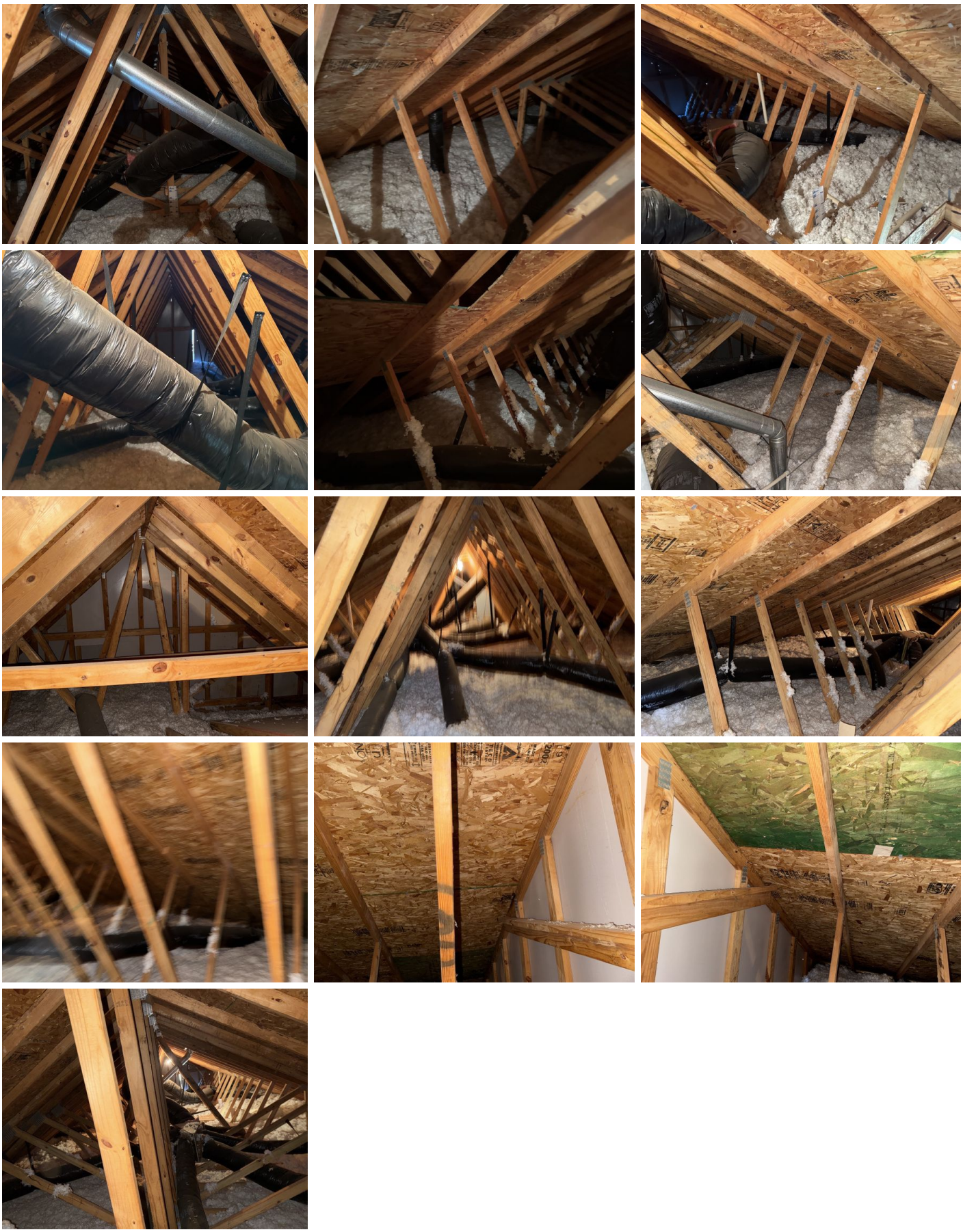
Insulation : Insulation Type
Blown

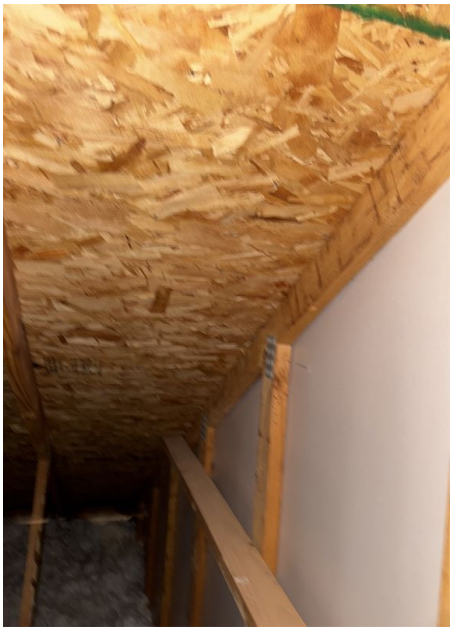
Insulation : Depth
14 Inches

Ventilation: Ventilation Type
Ridge Vents, Soffit Vents

Electrical: Type
120VAC & Lighting

Overview Pictures






Observations

9.1.1 Roof Structure & Attic

Repair Needed

WATER STAINS / DAMAGE

LEFT SIDE, OPPOSITE WHERE THE EXTERIOR SIDING IS MISSING

There were water stains / damage on the sheathing. The sheathing is soft to the touch and should be replaced

Recommendation

Contact a qualified roofing professional.

9.2.1 Access

Repair Needed

IMPROPER INSTALLATION

The drop down stairs were installed with screws. Per the manufacturers instructions, they must be installed with nails. This is because screws have a lower shear strength than nails and will break under less strain. Recommend replacing screws with nails.

Recommendation

Contact a handyman or DIY project


10: EXTERIOR

		IN	NI	NP	D	Marginal	Safety	Age
10.1	Exterior Foundation	X						
10.2	Soffits & Fascia	X						
10.3	Siding & Trim				X			
10.4	Exterior Doors & Windows	X						
10.5	Walkways, Patios & Driveways	X						
10.6	Decks, Balconies, Porches & Steps					X		
10.7	Vegetation, Grading, Drainage & Retaining Walls					X		
10.8	Exterior Electrical	X						
10.9	Gas Main	X						
10.10	Main Gas Shutoff	X						

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Exterior Foundation: Material
Concrete

Soffits & Fascia: Soffits
Vinyl

Soffits & Fascia: Fascia
Aluminum

Siding & Trim: Siding Material
Vinyl

Siding & Trim: Siding Style
Clapboard

Siding & Trim: Trim
Wood

Exterior Doors & Windows: Entry Door
Metal Entry Door

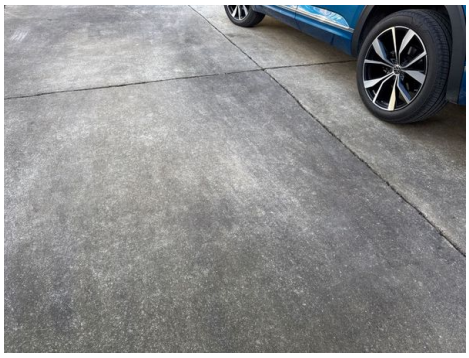
Exterior Doors & Windows: Patio Door
French Door

Exterior Doors & Windows: Windows
Vinyl Single Hung

Exterior Doors & Windows: Sills / Thresholds
PVC

Exterior Doors & Windows: Storm Windows
None

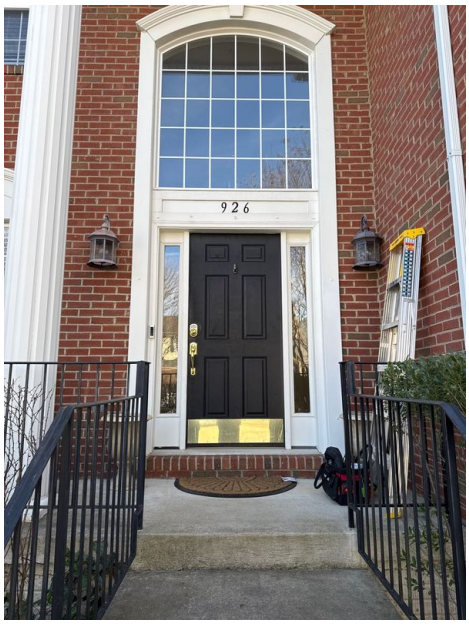
Walkways, Patios & Driveways: Driveway
Concrete



Walkways, Patios & Driveways: Walks
Concrete

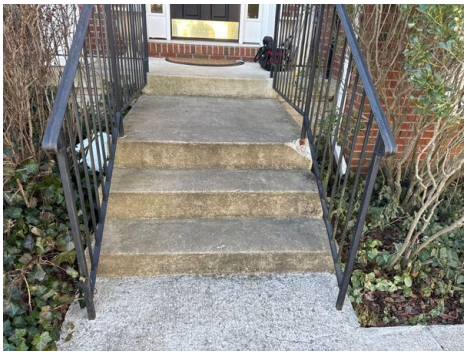
Walkways, Patios & Driveways: Patio
None

Decks, Balconies, Porches & Steps: Porch
Concrete



Decks, Balconies, Porches & Steps: Balcony
None

Decks, Balconies, Porches & Steps: Steps / Stoops
Concrete



Vegetation, Grading, Drainage & Retaining Walls: Vegetation
Trees & Shrubs

Vegetation, Grading, Drainage & Retaining Walls: Retaining Walls
None

Vegetation, Grading, Drainage & Retaining Walls: Grading
Minor Slope, Moderate Slope

Exterior Electrical: Type
120 VAC GFCI & Lighting

Gas Main: Location
Right

Decks, Balconies, Porches & Steps: Deck

Stained Wood




Main Gas Shutoff: Location

At Gas Main, Main Gas Line


Exterior


Interior

Observations

10.3.1 Siding & Trim

Repair Needed

WOOD ROT

Observed rotted wood. Rotted wood at the sills, thresholds, or trim MAY allow water to damage the framing or sheathing of the home. Recommend a licensed contractor evaluate and repair.

Recommendation

Contact a qualified carpenter.


Deck Door


Side Dormer


Garage


Garage

10.3.2 Siding & Trim

MISSING SIDING

Immediate Action Needed

LEFT SIDE OF THE HOUSE AT THE PEAK

Recommendation

Contact a qualified siding specialist.

10.3.3 Siding & Trim

BUBBLED / LOOSE SIDING

Repair Needed

RIGHT SIDE OF THE GARAGE

Recommendation

Contact a qualified siding specialist.

10.6.1 Decks, Balconies, Porches & Steps

DECK - WATER SEALANT REQUIRED

Repair Needed

Deck is showing signs of weathering and/or water damage. Recommend water sealant/weatherproofing be applied.

Here is a helpful article on staining & sealing your deck.

Recommendation

Recommended DIY Project

10.6.2 Decks, Balconies, Porches & Steps

Repair Needed

HURRICANE STRAPS

There was no strapping attaching the deck joist to the rim joist. These are commonly called hurricane straps.

Recommendation

Contact a handyman or DIY project

Missing Hurricane Straps

10.6.3 Decks, Balconies, Porches & Steps

Repair Needed

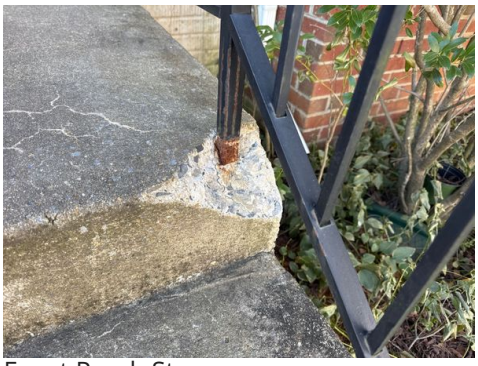
BROKEN / CHIPPED CONCRETE

FRONT PORCH STEPS

Observed that the concrete around the metal railing was chipped off and broken, allowing the railing to loosen.

Recommendation

Contact a qualified masonry professional.



Front Porch Steps

10.7.1 Vegetation, Grading, Drainage & Retaining Walls

Repair Needed

OVERGROWN SHRUBS

Vegetation around the house was overgrown. Vegetation that is touching or too close to the house can damage the siding and traps excess moisture against the house.

Recommendation

Contact a qualified landscaping contractor



11: 2ND FLOOR LANDING & STAIRS

		IN	NI	NP	D	Marginal	Safety	Age
11.1	Closet	X						
11.2	Ceilings	X						
11.3	Walls	X						
11.4	Doors	X						
11.5	Floors	X						
11.6	Windows			X				
11.7	Electrical	X						
11.8	HVAC	X						
11.9	Smoke Detector				X			X
11.10	Carbon Monoxide Detector			X				

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Information

Closet: Type
Single

Ceilings: Ceiling Material
Paint

Walls: Wall Material
Paint

Doors: Type
Hollow Wood

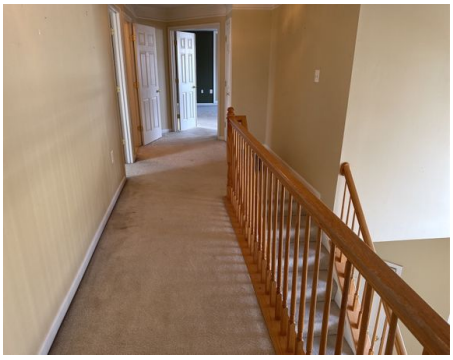
Floors: Floor Coverings
Carpet

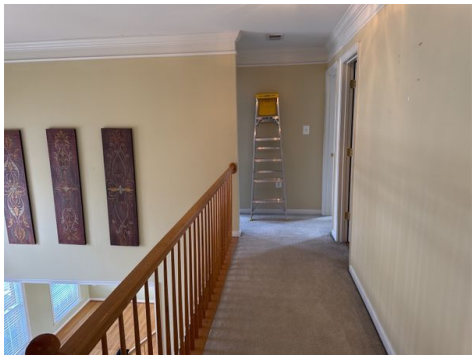
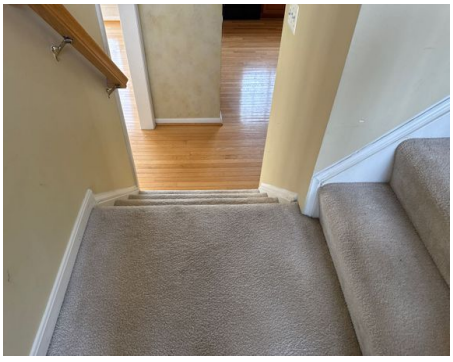
Windows: Window Type
None

Electrical: Type
120 VAC & Lighting

HVAC: Type
Heating System Register

Overview Pictures



Smoke Detector: Type

Hard Wired w/ Battery Back Up

It is recommended that a home have smoke alarms on each level of the dwelling and in every bedroom or sleeping area. Clients should replace any existing smoke alarms that are not in good working order with new ones and install smoke alarms where they may be missing or not properly located. Any test of a smoke alarm during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the smoke alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Carbon Monoxide Detector: Type

None

It is recommended that homeowners have a carbon monoxide detector on any level of the home that has a gas appliance, an attached garage or a fireplace. Clients should replace any existing carbon monoxide detectors that are not in good working order with new ones and install them where they may be missing or not properly located. Any test of a CO detector during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Observations

11.9.1 Smoke Detector

Repair Needed

OLD

Recommend replacing any smoke detectors that are more than 10 years old. The sensor has a life span of 10 years and after that it may not sound in an actual fire, even though it may still test as good.

Recommendation

Contact a handyman or DIY project

11.9.2 Smoke Detector

Repair Needed

IMPROPER WIRING

The hardwired smoke detector was not setting off any of the other smoke detectors

Recommendation

Contact a qualified electrical contractor.

12: ENTRY / FOYER

		IN	NI	NP	D	Marginal	Safety	Age
12.1	Closet	X						
12.2	Ceilings	X						
12.3	Walls	X						
12.4	Doors	X						
12.5	Floors	X						
12.6	Windows	X						
12.7	Electrical	X						
12.8	HVAC	X						
12.9	Smoke Detector				X			X
12.10	Carbon Monoxide Detector						X	

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Closet: Type
Single

Ceilings: Ceiling Material
Paint

Walls: Wall Material
Paint

Doors: Type
Hollow Wood, Metal Entry door

Floors: Floor Coverings
Hardwood

Windows: Window Type
Non-Opening

Electrical: Type
120 VAC & Lighting

HVAC: Type
Heating System Register

Overview Pictures

Smoke Detector: Type

Hard Wired w/ Battery Back Up

It is recommended that a home have smoke alarms on each level of the dwelling and in every bedroom or sleeping area. Clients should replace any existing smoke alarms that are not in good working order with new ones and install smoke alarms where they may be missing or not properly located. Any test of a smoke alarm during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the smoke alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Carbon Monoxide Detector: Type

None

It is recommended that homeowners have a carbon monoxide detector on any level of the home that has a gas appliance, an attached garage or a fireplace. Clients should replace any existing carbon monoxide detectors that are not in good working order with new ones and install them where they may be missing or not properly located. Any test of a CO detector during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Observations

12.9.1 Smoke Detector

Repair Needed

OLD

Recommend replacing any smoke detectors that are more than 10 years old. The sensor has a life span of 10 years and after that it may not sound in an actual fire, even though it may still test as good.

Recommendation

Contact a handyman or DIY project

12.9.2 Smoke Detector

Repair Needed

IMPROPER WIRING

The hardwired smoke detector was not setting off any of the other smoke detectors

Recommendation

Contact a qualified electrical contractor.

12.10.1 Carbon Monoxide Detector

Repair Needed

MISSING

Recommend installing a carbon monoxide detector on any level of the home with a gas appliance, attached garage or fireplace.

Recommendation

Recommended DIY Project

13: LIVING ROOM

		IN	NI	NP	D	Marginal	Safety	Age
13.1	Closet			X				
13.2	Ceilings							
13.3	Walls	X						
13.4	Doors			X				
13.5	Floors	X						
13.6	Windows	X						
13.7	Electrical	X						
13.8	HVAC	X						
13.9	Smoke Detector			X				
13.10	Carbon Monoxide Detector			X				

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures

Closet: Type
None

Ceilings: Ceiling Material
Paint

Walls: Wall Material
Paint

Doors: Type
None

Floors: Floor Coverings
Hardwood

Windows: Window Type
Single-hung

Electrical: Type
120 VAC

HVAC: Type
Heating System Register

Smoke Detector: Type
None

It is recommended that a home have smoke alarms on each level of the dwelling and in every bedroom or sleeping area. Clients should replace any existing smoke alarms that are not in good working order with new ones and install smoke alarms where they may be missing or not properly located. Any test of a smoke alarm during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the smoke alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Carbon Monoxide Detector: Type

None

It is recommended that homeowners have a carbon monoxide detector on any level of the home that has a gas appliance, an attached garage or a fireplace. Clients should replace any existing carbon monoxide detectors that are not in good working order with new ones and install them where they may be missing or not properly located. Any test of a CO detector during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

14: DINING ROOM

		IN	NI	NP	D	Marginal	Safety	Age
14.1	Closet			X				
14.2	Ceilings	X						
14.3	Walls	X						
14.4	Doors			X				
14.5	Floors	X						
14.6	Windows	X						
14.7	Electrical	X						
14.8	HVAC	X						
14.9	Smoke Detector			X				
14.10	Carbon Monoxide Detector			X				

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures

Closet: Type
None

Ceilings: Ceiling Material
Paint

Walls: Wall Material
Wallpaper

Doors: Type
None

Floors: Floor Coverings
Hardwood

Windows: Window Type
Single-hung

Electrical: Type
120 VAC & Lighting

HVAC: Type
Heating System Register

Smoke Detector: Type
None

It is recommended that a home have smoke alarms on each level of the dwelling and in every bedroom or sleeping area. Clients should replace any existing smoke alarms that are not in good working order with new ones and install smoke alarms where they may be missing or not properly located. Any test of a smoke alarm during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the smoke alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Carbon Monoxide Detector: Type

None

It is recommended that homeowners have a carbon monoxide detector on any level of the home that has a gas appliance, an attached garage or a fireplace. Clients should replace any existing carbon monoxide detectors that are not in good working order with new ones and install them where they may be missing or not properly located. Any test of a CO detector during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

15: BREAKFAST AREA

		IN	NI	NP	D	Marginal	Safety	Age
15.1	Closet			X				
15.2	Ceilings	X						
15.3	Walls	X						
15.4	Doors	X						
15.5	Floors	X						
15.6	Windows			X				
15.7	Electrical	X						
15.8	HVAC	X						
15.9	Smoke Detector			X				
15.10	Carbon Monoxide Detector			X				

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures

Closet: Type
None

Ceilings: Ceiling Material
Paint

Walls: Wall Material
Paint

Doors: Type
French

Floors: Floor Coverings
Hardwood

Windows: Window Type
None

Electrical: Type
120 VAC & Lighting

HVAC: Type
Heating System Register

Smoke Detector: Type

None

It is recommended that a home have smoke alarms on each level of the dwelling and in every bedroom or sleeping area. Clients should replace any existing smoke alarms that are not in good working order with new ones and install smoke alarms where they may be missing or not properly located. Any test of a smoke alarm during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the smoke alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Carbon Monoxide Detector: Type

None

It is recommended that homeowners have a carbon monoxide detector on any level of the home that has a gas appliance, an attached garage or a fireplace. Clients should replace any existing carbon monoxide detectors that are not in good working order with new ones and install them where they may be missing or not properly located. Any test of a CO detector during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

16: FAMILY ROOM

		IN	NI	NP	D	Marginal	Safety	Age
16.1	Closet			X				
16.2	Ceilings	X						
16.3	Walls	X						
16.4	Doors			X				
16.5	Floors	X						
16.6	Windows	X						
16.7	Electrical	X						
16.8	HVAC	X						
16.9	Smoke Detector			X				
16.10	Carbon Monoxide Detector			X				

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures

Closet: Type
None

Ceilings: Ceiling Material
Paint

Walls: Wall Material
Paint

Doors: Type
None

Floors: Floor Coverings
Carpet

Windows: Window Type
Single-hung

Electrical: Type
120 VAC & Lighting

HVAC: Type
Heating System Register

Smoke Detector: Type
None

It is recommended that a home have smoke alarms on each level of the dwelling and in every bedroom or sleeping area. Clients should replace any existing smoke alarms that are not in good working order with new ones and install smoke alarms where they may be missing or not properly located. Any test of a smoke alarm during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the smoke alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Carbon Monoxide Detector: Type

None

It is recommended that homeowners have a carbon monoxide detector on any level of the home that has a gas appliance, an attached garage or a fireplace. Clients should replace any existing carbon monoxide detectors that are not in good working order with new ones and install them where they may be missing or not properly located. Any test of a CO detector during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

17: OFFICE / DEN

		IN	NI	NP	D	Marginal	Safety	Age
17.1	Closet			X				
17.2	Ceilings	X						
17.3	Walls	X						
17.4	Doors	X						
17.5	Floors	X						
17.6	Windows	X						
17.7	Electrical	X						
17.8	HVAC	X						
17.9	Smoke Detector			X				
17.10	Carbon Monoxide Detector			X				

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures

Closet: Type
None

Ceilings: Ceiling Material
Paint

Walls: Wall Material
Paint

Doors: Type
Hollow Wood

Floors: Floor Coverings
Carpet

Windows: Window Type
Single-hung

Electrical: Type
120 VAC

HVAC: Type
Heating System Register

Smoke Detector: Type
None

It is recommended that a home have smoke alarms on each level of the dwelling and in every bedroom or sleeping area. Clients should replace any existing smoke alarms that are not in good working order with new ones and install smoke alarms where they may be missing or not properly located. Any test of a smoke alarm during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the smoke alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Carbon Monoxide Detector: Type

None

It is recommended that homeowners have a carbon monoxide detector on any level of the home that has a gas appliance, an attached garage or a fireplace. Clients should replace any existing carbon monoxide detectors that are not in good working order with new ones and install them where they may be missing or not properly located. Any test of a CO detector during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

18: BASEMENT REC ROOM

		IN	NI	NP	D	Marginal	Safety	Age
18.1	Closet			X				
18.2	Ceilings	X						
18.3	Walls	X						
18.4	Doors					X		
18.5	Floors	X						
18.6	Windows	X						
18.7	Electrical				X			
18.8	HVAC	X						
18.9	Smoke Detector						X	
18.10	Carbon Monoxide Detector						X	

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Closet: Type
None

Doors: Type
Hollow Wood, Vinyl Slider

Electrical: Type
120 VAC & Lighting

Ceilings: Ceiling Material
Exposed Framing

Floors: Floor Coverings
Concrete

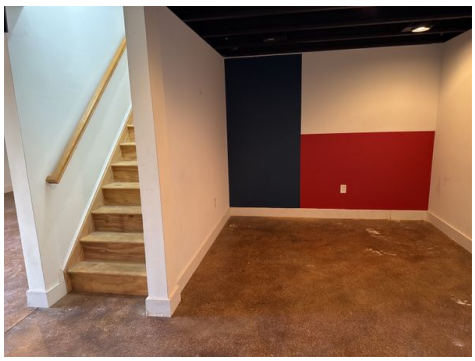
HVAC: Type
Heating System Register

Walls: Wall Material
Paint

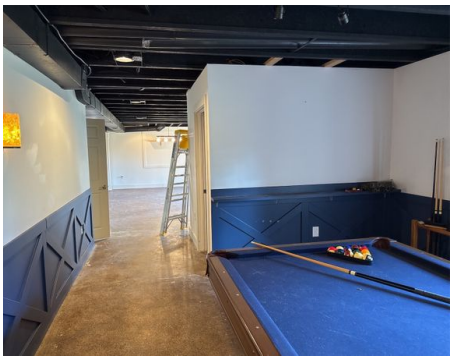
Windows: Window Type
Single-hung

Overview Pictures









Smoke Detector: Type

None

It is recommended that a home have smoke alarms on each level of the dwelling and in every bedroom or sleeping area. Clients should replace any existing smoke alarms that are not in good working order with new ones and install smoke alarms where they may be missing or not properly located. Any test of a smoke alarm during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the smoke alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Carbon Monoxide Detector: Type

None

It is recommended that homeowners have a carbon monoxide detector on any level of the home that has a gas appliance, an attached garage or a fireplace. Clients should replace any existing carbon monoxide detectors that are not in good working order with new ones and install them where they may be missing or not properly located. Any test of a CO detector during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Observations

18.4.1 Doors

Repair Needed

BROKEN LOCKING BAR

The locking bar for the vinyl sliding door was broken and not attached

Recommendation

Contact a qualified handyman.

18.7.1 Electrical

Repair Needed

NO POWER

The three outlets on the wall opposite the stairs did not have power

Recommendation

Contact a qualified electrical contractor.

No Power

18.9.1 Smoke Detector

Repair Needed

INSTALL A SMOKE DETECTOR ON EVERY LEVEL

Recommendation

Contact a handyman or DIY project

18.10.1 Carbon Monoxide Detector

Repair Needed

MISSING

Recommend installing a carbon monoxide detector on any level of the home with a gas appliance, attached garage or fireplace.

Recommendation

Recommended DIY Project

19: FAMILY ROOM FIREPLACE

		IN	NI	NP	D	Marginal	Safety	Age
19.1	Fuel Source	X						
19.2	Smoke Chamber		X					
19.3	Flue		X					
19.4	Damper		X					
19.5	Mantle	X						
19.6	Hearth	X						

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures

Fuel Source: Fire Box
Metal

Smoke Chamber: Material
Not Visible

Flue: Material
Not Visible

Damper: Material
Not Visible

Mantle: Material
Wood

Hearth: Material
Stone

Fuel Source: Type
Gas

Fireplaces / chimneys should be inspected and cleaned on an annual basis. It is recommended that a chimney sweep evaluate and clean all fireplaces and chimneys before first use.

20: BASEMENT FIREPLACE

		IN	NI	NP	D	Marginal	Safety	Age
20.1	Fuel Source	X						
20.2	Smoke Chamber			X				
20.3	Flue			X				
20.4	Damper	X						
20.5	Mantle			X				
20.6	Hearth			X				

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures

Fuel Source: Fire Box
Not Applicable

Smoke Chamber: Material
N/A

Flue: Material
N/A

Damper: Material
Automatic

Mantle: Material
None

Hearth: Material
None

Fuel Source: Type
Electric

Fireplaces / chimneys should be inspected and cleaned on an annual basis. It is recommended that a chimney sweep evaluate and clean all fireplaces and chimneys before first use.

21: KITCHEN

		IN	NI	NP	D	Marginal	Safety	Age
21.1	Ceilings	X						
21.2	Walls	X						
21.3	Floors					X		
21.4	Doors					X		
21.5	Windows	X						
21.6	Pantry	X						
21.7	Sink	X						
21.8	Cabinetry	X						
21.9	Plumbing				X			
21.10	Electrical	X						
21.11	Range/Oven/Cooktop					X		
21.12	Vent Hood							
21.13	Refrigerator					X		
21.14	Dishwasher		X					
21.15	Garbage Disposal	X						
21.16	Microwave							
21.17	HVAC	X						

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Ceilings: Ceiling Material
Paint

Walls: Wall Material
Paint

Floors: Floor Coverings
Hardwood

Doors: Type
Hollow Wood

Windows: Window Type
Sliders

Pantry: Type
Closet

Sink: Material
Cast Iron

Cabinetry: Material
Wood, Laminate

Cabinetry: Countertops
Laminate

Plumbing : Drain Lines
PVC

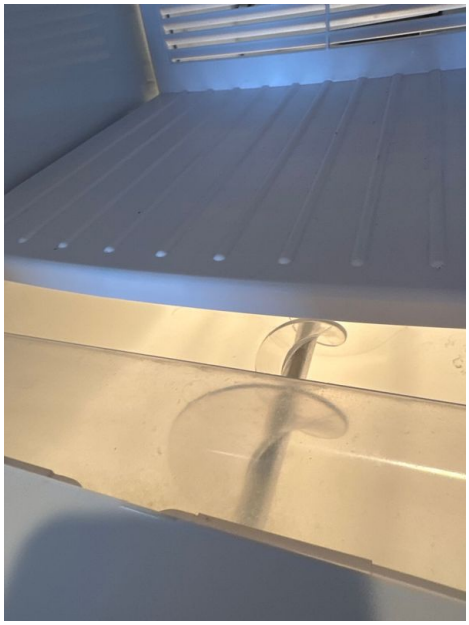
Plumbing : Water Lines
Stainless Steel

Electrical: Type
120 VAC GFCI & Lighting

Range/Oven/Cooktop: Range/Oven Energy Source
Electric

Vent Hood: Brand
GE

Refrigerator: Ice Maker / Water Dispenser



Dishwasher: Brand
GE

Garbage Disposal: Brand
In-Sink-Erator

Microwave: Brand
Sharp

HVAC: Type
Heating System Register

Overview Pictures

Range/Oven/Cooktop: Range/Oven Brand
GE

Vent Hood: Type

External Vent

Refrigerator: Brand

GE

Limitations

Dishwasher

WATER LEAKING

Dishwasher not tested due to leaking water supply

Observations

21.3.1 Floors

Repair Needed

MODERATE WEAR

Floors in the home exhibited moderate surface wear along major paths of travel. Recommend a qualified flooring contractor evaluate for possible re-finish.

Recommendation

Contact a qualified flooring contractor

21.4.1 Doors

Repair Needed

DOOR DOESN'T LATCH

Door doesn't latch properly. Recommend handyman repair latch and/or strike plate.

Recommendation

Contact a qualified handyman.

21.9.1 Plumbing

Immediate Action Needed

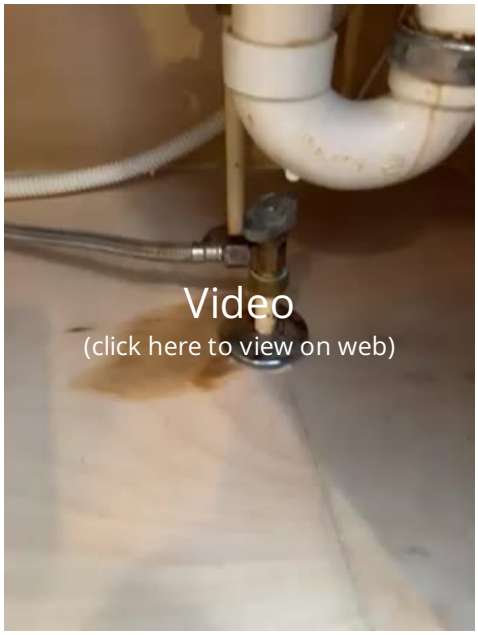
WATER LEAK

Water actively leaking

Recommendation

Contact a qualified plumbing contractor.

Dishwasher Water Supply Line



21.11.1 Range/Oven/Cooktop

Repair Needed

CRACKED GLASSTOP

Glass cooktop was cracked. Recommend noting model and serial number so manufacturer can give a replacement quote.

Recommendation

Contact a qualified professional.

21.11.2 Range/Oven/Cooktop

Repair Needed

OVEN LIGHT NOT COMING ON

TOP OVEN

May need a new bulb

Recommendation

Recommended DIY Project

21.13.1 Refrigerator

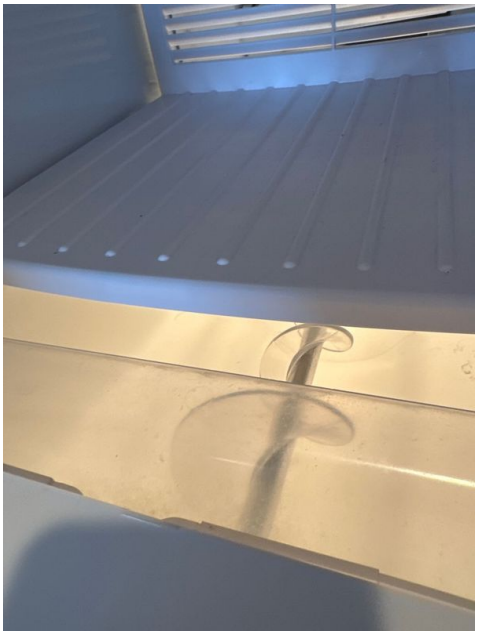
Repair Needed

NO ICE / WATER

There was no Ice in the Ice maker and no water at the dispenser. Recommend follow up with seller to demonstrate operation.

Recommendation

Contact the seller for more info



22: OWNERS BEDROOM

		IN	NI	NP	D	Marginal	Safety	Age
22.1	Closet	X						
22.2	Ceilings	X						
22.3	Walls	X						
22.4	Floors	X						
22.5	Doors	X						
22.6	Windows				X			
22.7	Electrical	X						
22.8	HVAC							
22.9	Smoke Detectors				X			X
22.10	Carbon Monoxide Detectors			X				

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Closet: Style
Walk In(s)

Ceilings: Ceiling Material
Paint

Walls: Wall Material
Paint

Floors: Floor Coverings
Carpet

Doors: Type
Hollow Wood

Windows: Window Type
Vinyl Single Hung

Electrical: Type
120 VAC & Lighting

HVAC: Type
Heating System Register

Overview Pictures


Smoke Detectors: Type

Hard Wired /w Battery Backup

It is recommended that a home have smoke alarms on each level of the dwelling and in every bedroom or sleeping area. Clients should replace any existing smoke alarms that are not in good working order with new ones and install smoke alarms where they may be missing or not properly located. Any test of a smoke alarm during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the smoke alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Carbon Monoxide Detectors: Type

None

It is recommended that homeowners have a carbon monoxide detector on any level of the home that has a gas appliance, an attached garage or a fireplace. Clients should replace any existing carbon monoxide detectors that are not in good working order with new ones and install them where they may be missing or not properly located. Any test of a CO detector during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Observations

22.6.1 Windows

Repair Needed

FAILED SEAL

TOP RIGHT SASH IN SITTING ROOM

Observed condensation between the window panes, which indicates a failed seal. Recommend qualified window contractor evaluate & replace.

Recommendation

Contact a qualified window repair/installation contractor.


Broken Seal

22.9.1 Smoke Detectors

Repair Needed

OLD

Recommend replacing any smoke detectors that are more than 10 years old. The sensor has a life span of 10 years and after that it may not sound in an actual fire, even though it may still test as good.

Recommendation

Contact a handyman or DIY project

22.9.2 Smoke Detectors

Repair Needed

IMPROPERLY WIRED

The hardwired smoke detector was not setting off any of the other smoke detectors in the house

Recommendation

Contact a qualified electrical contractor.

23: BEDROOM 2

		IN	NI	NP	D	Marginal	Safety	Age
23.1	Closet	X						
23.2	Ceilings	X						
23.3	Walls	X						
23.4	Floors					X		
23.5	Doors	X						
23.6	Windows	X						
23.7	Electrical	X						
23.8	HVAC	X						
23.9	Smoke Detectors				X			X
23.10	Carbon Monoxide Detectors			X				

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures

Closet: Style
Single

Ceilings: Ceiling Material
Paint

Walls: Wall Material
Paint

Floors: Floor Coverings
Carpet

Doors: Type
Hollow Wood

Windows: Window Type
Single-hung

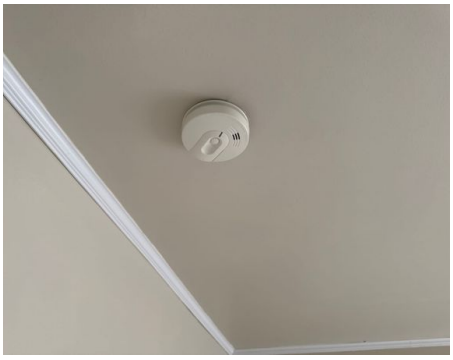
Electrical: Type
120 VAC & Lighting

HVAC: Type
Heating System Register

Smoke Detectors: Type

Hard Wired /w Battery Backup

It is recommended that a home have smoke alarms on each level of the dwelling and in every bedroom or sleeping area. Clients should replace any existing smoke alarms that are not in good working order with new ones and install smoke alarms where they may be missing or not properly located. Any test of a smoke alarm during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the smoke alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.



Carbon Monoxide Detectors: Type

None

It is recommended that homeowners have a carbon monoxide detector on any level of the home that has a gas appliance, an attached garage or a fireplace. Clients should replace any existing carbon monoxide detectors that are not in good working order with new ones and install them where they may be missing or not properly located. Any test of a CO detector during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Observations

23.4.1 Floors

Repair Needed

CREAKING / SQUEAKING

FRONT LEFT CORNER

The floor was creaking when walked on. This is not a structural issue. It usually occurs when the subfloor has become disconnected from the floor joist.

Recommendation

Contact a handyman or DIY project

Creaking Floor

23.7.1 Electrical

Repair Needed

LIGHT INOPERABLE

One or more lights are not operating. New light bulb possibly needed.

Recommendation

Contact a qualified electrical contractor.

23.9.1 Smoke Detectors

Repair Needed

OLD

Recommend replacing any smoke detectors that are more than 10 years old. The sensor has a life span of 10 years and after that it may not sound in an actual fire, even though it may still test as good.

Recommendation

Contact a handyman or DIY project

23.9.2 Smoke Detectors

Repair Needed

IMPROPER WIRING

The hardwired smoke detector was not setting off any of the other smoke detectors

Recommendation

Contact a qualified electrical contractor.

24: BEDROOM 3

		IN	NI	NP	D	Marginal	Safety	Age
24.1	Closet	X						
24.2	Ceilings							
24.3	Walls	X						
24.4	Floors	X						
24.5	Doors	X						
24.6	Windows	X						
24.7	Electrical	X						
24.8	HVAC	X						
24.9	Smoke Detectors				X			X
24.10	Carbon Monoxide Detectors			X				

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures

Closet: Style
Walk In(s)

Ceilings: Ceiling Material
Paint

Walls: Wall Material
Paint

Floors: Floor Coverings
Carpet

Doors: Type
Hollow Wood

Windows: Window Type
Single-hung

Electrical: Type
120 VAC & Lighting

HVAC: Type
Heating System Register

Smoke Detectors: Type

Hard Wired /w Battery Backup

It is recommended that a home have smoke alarms on each level of the dwelling and in every bedroom or sleeping area. Clients should replace any existing smoke alarms that are not in good working order with new ones and install smoke alarms where they may be missing or not properly located. Any test of a smoke alarm during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the smoke alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Carbon Monoxide Detectors: Type

None

It is recommended that homeowners have a carbon monoxide detector on any level of the home that has a gas appliance, an attached garage or a fireplace. Clients should replace any existing carbon monoxide detectors that are not in good working order with new ones and install them where they may be missing or not properly located. Any test of a CO detector during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Observations

24.9.1 Smoke Detectors

Repair Needed

OLD

Recommend replacing any smoke detectors that are more than 10 years old. The sensor has a life span of 10 years and after that it may not sound in an actual fire, even though it may still test as good.

Recommendation

Contact a handyman or DIY project

24.9.2 Smoke Detectors

Repair Needed

IMPROPER WIRING

The hardwired smoke detector was not setting off any of the other smoke detectors

Recommendation

Contact a qualified electrical contractor.

25: BEDROOM 4

		IN	NI	NP	D	Marginal	Safety	Age
25.1	Closet	X						
25.2	Ceilings	X						
25.3	Walls	X						
25.4	Floors	X						
25.5	Doors	X						
25.6	Windows					X		
25.7	Electrical	X						
25.8	HVAC	X						
25.9	Smoke Detectors				X			X
25.10	Carbon Monoxide Detectors			X				

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures

Closet: Style
Walk In(s)

Ceilings: Ceiling Material
Paint

Walls: Wall Material
Paint

Floors: Floor Coverings
Carpet

Doors: Type
Hollow Wood

Windows: Window Type
Single-hung

Electrical: Type
120 VAC & Lighting

HVAC: Type
Heating System Register

Smoke Detectors: Type

Hard Wired /w Battery Backup

It is recommended that a home have smoke alarms on each level of the dwelling and in every bedroom or sleeping area. Clients should replace any existing smoke alarms that are not in good working order with new ones and install smoke alarms where they may be missing or not properly located. Any test of a smoke alarm during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the smoke alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Carbon Monoxide Detectors: Type

None

It is recommended that homeowners have a carbon monoxide detector on any level of the home that has a gas appliance, an attached garage or a fireplace. Clients should replace any existing carbon monoxide detectors that are not in good working order with new ones and install them where they may be missing or not properly located. Any test of a CO detector during a home inspection only reflects its condition at the time of inspection and is not a guarantee, warranty, or any form of insurance. A test performed during the home inspection does not supersede the alarm manufacturer's testing recommendations. Clients should follow the manufacturer's instructions for proper placement, installation, and maintenance.

Observations

25.6.1 Windows

Repair Needed

NOT LOCKING

Neither of the windows would fully seat enough for the locks to engage

Recommendation

Contact a qualified window repair/installation contractor.

25.9.1 Smoke Detectors

Repair Needed

OLD

Recommend replacing any smoke detectors that are more than 10 years old. The sensor has a life span of 10 years and after that it may not sound in an actual fire, even though it may still test as good.

Recommendation

Contact a handyman or DIY project

25.9.2 Smoke Detectors

Repair Needed

IMPROPER WIRING

The hardwired smoke detector was not setting off any of the other smoke detectors

Recommendation

Contact a qualified electrical contractor.

26: 2ND FLOOR MAIN BATHROOM

		IN	NI	NP	D	Marginal	Safety	Age
26.1	Closet			X				
26.2	Ceilings					X		
26.3	Walls	X						
26.4	Floors	X						
26.5	Doors	X						
26.6	Windows			X				
26.7	Counter / Cabinet	X						
26.8	Sink	X						
26.9	Faucets	X						
26.10	Trap	X						
26.11	Water Supply & Distribution				X			
26.12	Bathtub					X		
26.13	Shower			X				
26.14	Spa Tub			X				
26.15	Toilet				X			
26.16	Lighting Fixtures, Switches & Receptacles	X						
26.17	HVAC	X						
26.18	Ventilation	X						

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures

Closet: Style
None

Ceilings: Ceiling Material
Paint

Walls: Wall Material
Paint

Floors: Floor Coverings
Linoleum

Doors: Type
Bathroom Bedroom Living Room Dining Room Kitchen Basement
Hollow Wood

Windows: Window Type
None

Counter / Cabinet: Type
Composite & Wood

Sink: Type
Molded Dual Bowl

Faucets : Brand
Delta

Water Supply & Distribution : Drain Pipe Material
PVC

Water Supply & Distribution : Water Supply Material
Metal Flex

Shower: Material
Not Present

Spa Tub: Material
Not Present

Toilet: Brand
Briggs

Lighting Fixtures, Switches & Receptacles: Electrical
120 VAC GFCI & Lighting

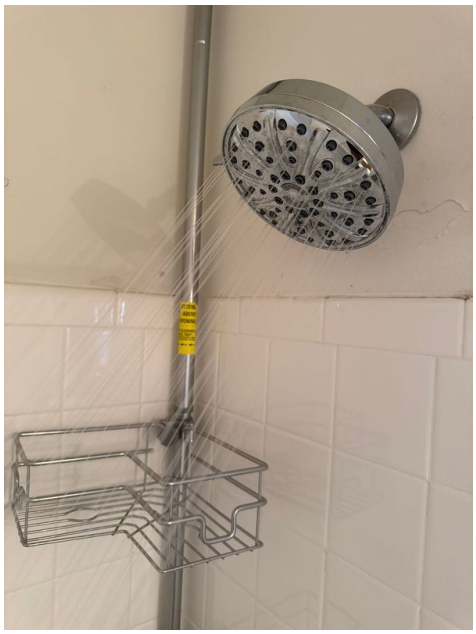
HVAC: Type
Heating System Register

Ventilation: Type
Electric Vent Fan

Trap: Type / Material
PVC P Trap

Bathtub: Material

Fiberglass



Observations

26.2.1 Ceilings

Repair Needed

NAIL POPS

Visible nail pops in the ceiling.

Recommendation

Contact a qualified drywall contractor.

26.3.1 Walls

Repair Needed

PAINT CRACKING

BEHIND SHOWER HEAD

Wall paint was cracking in one or more areas. Recommend a qualified painter evaluate and apply a new coat.

Here is a DIY article on treating cracking paint.

Recommendation

Contact a qualified painting contractor.

26.11.1 Water Supply & Distribution

Immediate Action Needed

WATER SUPPLY LINE LEAKING

TOILET LINE

Recommendation

Contact a qualified plumbing contractor.

26.12.1 Bathtub

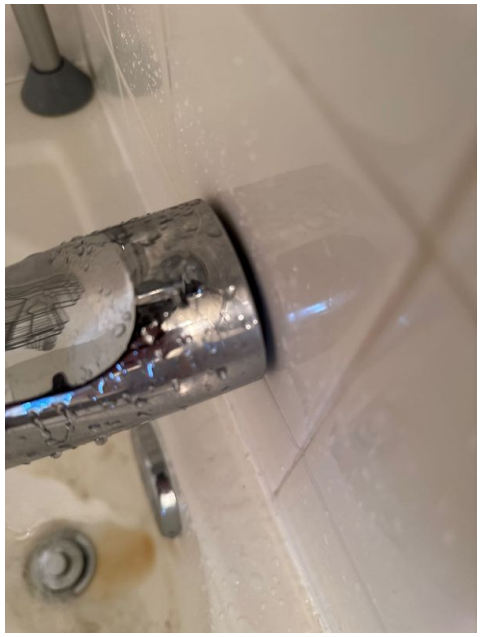
Repair Needed

GAP

Visible gap between the spigot and the wall. This may allow water to get behind the wall and cause damage.

Recommendation

Contact a qualified plumbing contractor.



26.12.2 Bathtub

Repair Needed

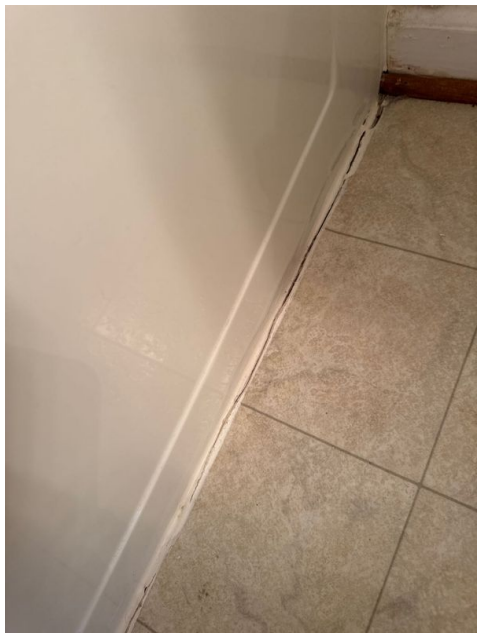
CAULKING

TUB & THE FLOOR

The caulking around the tub was black/deteriorated/missing. Recommend scraping and re-caulking.

Recommendation

Contact a handyman or DIY project



26.15.1 Toilet

Repair Needed

RUNS CONSTANTLY

Recommendation

Contact a qualified plumbing contractor.

27: OWNERS BATHROOM

		IN	NI	NP	D	Marginal	Safety	Age
27.1	Closet	X		X				
27.2	Ceilings	X						
27.3	Walls	X						
27.4	Floors	X						
27.5	Doors				X			
27.6	Windows	X						
27.7	Counter / Cabinet	X						
27.8	Sink	X						
27.9	Faucets	X						
27.10	Trap	X						
27.11	Water Supply & Distribution	X						
27.12	Bathtub			X				
27.13	Shower	X						
27.14	Spa Tub	X						
27.15	Toilet	X						
27.16	Lighting Fixtures, Switches & Receptacles	X						
27.17	HVAC	X						
27.18	Ventilation	X						

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures

Closet: Style
None

Ceilings: Ceiling Material
Paint

Walls: Wall Material
Paint

Floors: Floor Coverings
Tile

Doors: Type
Bathroom Bedroom Living Room Dining Room Kitchen Basement
Hollow Wood

Windows: Window Type
Vinyl Sliding

Sink: Type
Molded Single Bowl

Faucets : Brand
Delta

Water Supply & Distribution : Drain Pipe Material
PVC

Water Supply & Distribution : Water Supply Material
Metal Flex

Bathtub: Material
None

Spa Tub: Material
Fiberglass

Toilet: Brand
Briggs

Lighting Fixtures, Switches & Receptacles: Electrical
120 VAC GFCI & Lighting

HVAC: Type
Heating System Register

Ventilation: Type
Electric Vent Fan, Window

Counter / Cabinet: Type
Composite & Wood

Trap: Type / Material
PVC P Trap

Shower: Material

Fiberglass Pan & Tile Surround

Observations

27.5.1 Doors

BROKEN DOOR KNOB

Repair Needed

ENTRY DOOR

Recommendation

Contact a handyman or DIY project

28: BASEMENT BATHROOM

		IN	NI	NP	D	Marginal	Safety	Age
28.1	Closet	X						
28.2	Ceilings	X						
28.3	Walls	X						
28.4	Floors	X						
28.5	Doors	X						
28.6	Windows			X				
28.7	Counter / Cabinet	X						
28.8	Sink	X						
28.9	Faucets					X		
28.10	Trap				X			
28.11	Water Supply & Distribution	X						
28.12	Bathtub			X				
28.13	Shower	X						
28.14	Spa Tub			X				
28.15	Toilet	X						
28.16	Lighting Fixtures, Switches & Receptacles					X		
28.17	HVAC			X				
28.18	Ventilation	X						

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures

Closet: Style
Single

Ceilings: Ceiling Material
Paint

Walls: Wall Material
Paint

Floors: Floor Coverings
Concrete

Doors: Type
Bathroom Bedroom Living Room Dining Room Kitchen Basement
Hollow Wood

Windows: Window Type
None

Counter / Cabinet: Type
Porcelain & Wood

Sink: Type
One Piece Counter & Sink

Faucets : Brand
Delta

Trap: Type / Material
PVC P Trap

Water Supply & Distribution : Drain Pipe Material
PVC

Water Supply & Distribution : Water Supply Material
Metal Flex

Bathtub: Material
Not Present

Spa Tub: Material
Not Present

Toilet: Brand
Kohler

Lighting Fixtures, Switches & Receptacles: Electrical
120 VAC GFCI & Lighting

HVAC: Type
None

Ventilation: Type
Electric Vent Fan

Shower: Material
Fiberglass Pan & Tile Surround

Observations

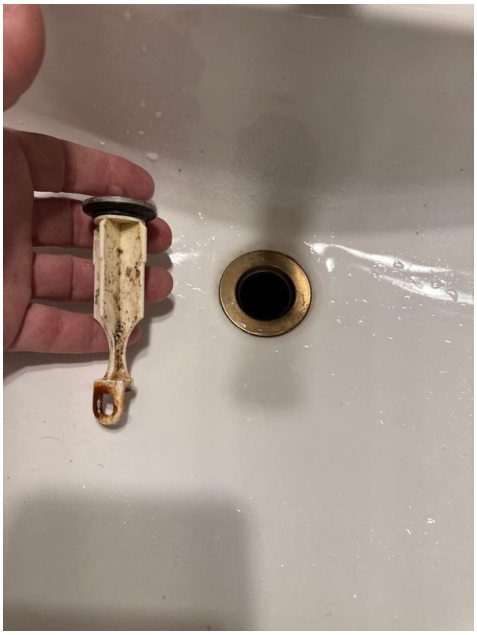
28.9.1 Faucets

STOPPER NOT CONNECTED

Repair Needed

Recommendation

Recommended DIY Project



28.10.1 Trap

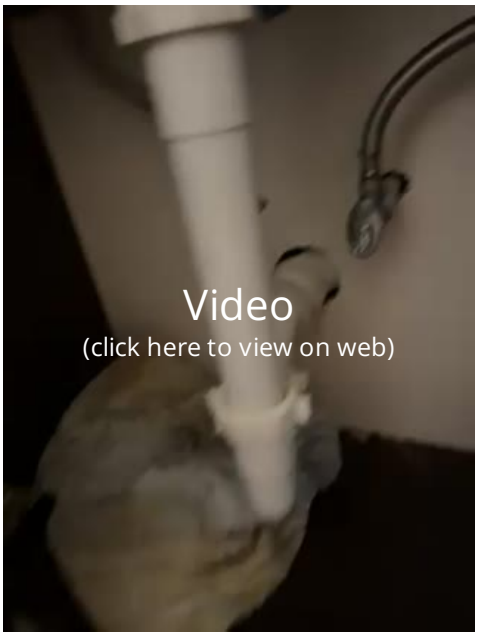
Immediate Action Needed

LEAKING

Active water leak from the drain/trap.

Recommendation

Contact a qualified plumbing contractor.



28.16.1 Lighting Fixtures, Switches & Receptacles

Repair Needed

FIXTURE LOOSE

Recommendation

Contact a qualified electrical contractor.

Loose

29: 1ST FLOOR HALF BATHROOM

		IN	NI	NP	D	Marginal	Safety	Age
29.1	Closet			X				
29.2	Ceilings	X						
29.3	Walls	X						
29.4	Floors	X						
29.5	Doors	X						
29.6	Windows			X				
29.7	Counter / Cabinet			X				
29.8	Sink					X		
29.9	Faucets	X						
29.10	Trap	X						
29.11	Toilet	X						
29.12	Water Supply & Distribution	X						
29.13	Lighting Fixtures, Switches & Receptacles	X						
29.14	HVAC	X						
29.15	Ventilation	X						

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures

Closet: Style
None

Ceilings: Ceiling Material
Paint

Walls: Wall Material
Paint

Floors: Floor Coverings
Hardwood

Doors: Type
Bathroom Bedroom Living Room Dining Room Kitchen Basement
Hollow Wood

Windows: Window Type
None

Windows: Window Manufacturer
Unknown

Counter / Cabinet: Type
None

Sink: Type
Pedestal

Faucets : Brand
Briggs

Trap: Type / Material
PVC P Trap

Toilet: Brand
Briggs

Water Supply & Distribution : Drain Pipe Material
PVC

Water Supply & Distribution : Water Supply Material
Metal Flex

Lighting Fixtures, Switches & Receptacles: Electrical
120 VAC GFCI & Lighting

HVAC: Type
Heating System Register

Ventilation: Type
Electric Vent Fan

Observations

29.8.1 Sink

Repair Needed

CRACK

Cracks observed in the sink bowl.

Recommendation

Contact a qualified plumbing contractor.

30: GARAGE

		IN	NI	NP	D	Marginal	Safety	Age
30.1	Ceiling	X						
30.2	Walls & Firewalls	X						
30.3	Floor	X						
30.4	Windows			X				
30.5	Electrical	X						
30.6	Garage Door	X						
30.7	Garage Door Opener				X			
30.8	Occupant Door (From garage to inside of home)	X						

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Ceiling: Material
Drywall

Windows: Window Type
None

Garage Door Opener: Brand
Liftmaster

Walls & Firewalls: Material
Drywall

Electrical: Type
120VAC GFCI & Lighting

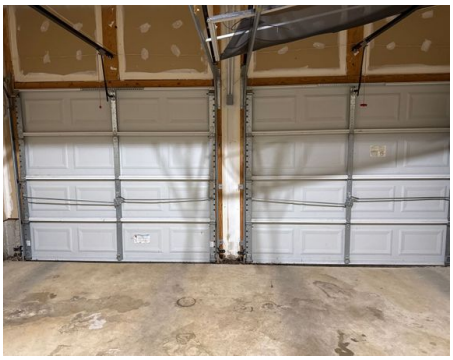
Occupant Door (From garage to inside of home): Material
Metal

Floor: Material
Concrete

Garage Door: Type
Automatic

Overview Pictures

Garage Door: Material
Aluminum




Observations

30.7.1 Garage Door Opener

Repair Needed

POWER CORD TOO SHORT

RIGHT OPENER

The power cable was not long enough to reach from the opener to the ceiling plug, it had to be plugged into an extension cord

Recommendation

Contact a qualified garage door contractor.


Power Cable to short

30.7.2 Garage Door Opener

Repair Needed

LOOSE CABLES

RIGHT DOOR

The cables on the right side of the right door were loose

Recommendation

Contact a qualified garage door contractor.


Loose Cable

30.8.1 Occupant Door (From garage to inside of home)

Immediate Action Needed

NOT SELF-CLOSING

Door from garage to home should have self-closing hinges to help prevent spread of a fire to living space. Recommend a qualified contractor install self-closing hinges.

DIY Resource Link.

Recommendation

Contact a qualified door repair/installation contractor.

31: 2ND FLOOR LAUNDRY ROOM

		IN	NI	NP	D	Marginal	Safety	Age
31.1	Ceilings	X						
31.2	Walls	X						
31.3	Doors	X						
31.4	Floors	X						
31.5	Windows			X				
31.6	Electrical	X						
31.7	Laundry Sink			X				
31.8	Laundry Sink Drain			X				
31.9	Floor Drain		X					
31.10	Washing Machine	X						
31.11	Dryer	X						

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures

Ceilings: Ceiling Material
Paint

Walls: Wall Material
Paint

Doors: Material
Hollow Wood

Floors: Floor Coverings
Linoleum

Windows: Window Type
None

Electrical: Type
120 VAC GFCI & Lighting

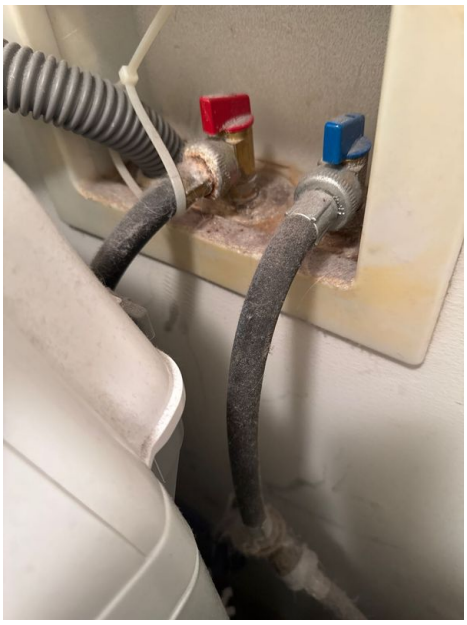
Laundry Sink: Material
None

Laundry Sink Drain: Material
Not Applicable

Floor Drain: Type
Not Visible

Washing Machine: Brand
Samsung

Washing Machine: Water Connections
Rubber



Washing Machine: Washer Drain
Wall Drain

Washing Machine: Drain Pan

Dryer: Brand
Samsung

Dryer: Electrical
240 VAC

Dryer: Dryer Vent
Metal Flex

Limitations

Floor Drain
FLOOR DRAIN HIDDEN UNDER DRAIN PAN

Observations

31.10.1 Washing Machine
REPLACE RUBBER SUPPLY LINES WITH METAL FLEXIBLE LINE
Recommendation
Recommended DIY Project

Maintenance Item

32: HVAC SYSTEM

		IN	NI	NP	D	Marginal	Safety	Age
32.1	Thermostats	X						
32.2	Blower Fan / Filters	X						
32.3	Distribution System	X						
32.4	Fuel	X						

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Thermostats: Type
Programmable

Blower Fan / Filters: Type
Direct Drive w/ disposable filter

Distribution System: Ductwork
Rigid Metal, Insulated Flex

Distribution System: Configuration
Central

Fuel : Type
Natural Gas, Electric

Fuel : Tank Location
None

33: AIR CONDITIONING

		IN	NI	NP	D	Marginal	Safety	Age
33.1	Cooling Equipment	X						X
33.2	Cooling Equipment	X						X

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Cooling Equipment: Location
Left

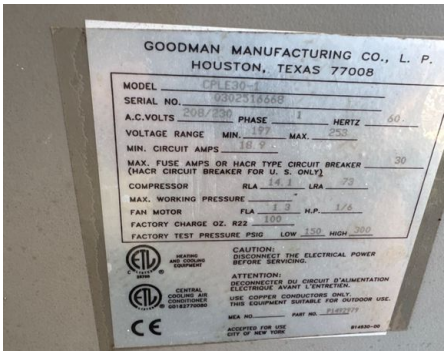
Cooling Equipment: Operation
Not Inspected

Cooling Equipment: Temperature Differential
0 Degrees

Cooling Equipment: Manufacturer
Goodman

Cooling Equipment: Model
CPLE30-1

Cooling Equipment: Serial Number
0302516668



Cooling Equipment: Area Served
2nd Floor

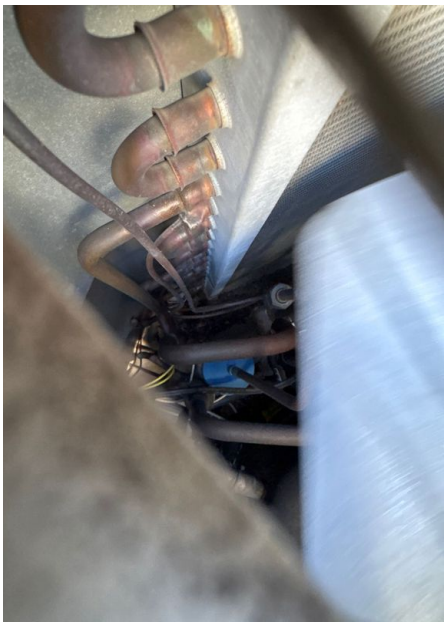
Cooling Equipment: Age
22 Years

Cooling Equipment: Type
Central AC

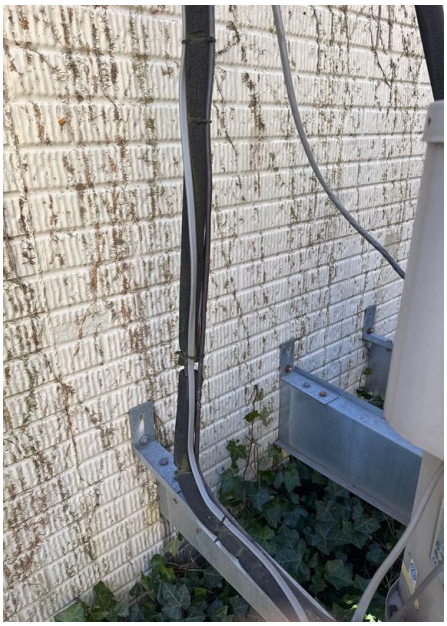
Cooling Equipment: Capacity
2.5 Tons

Cooling Equipment: Energy Source/Type
Electric

Cooling Equipment: Visible Coil
Copper w/ Aluminum Fins



Cooling Equipment: Refrigerant Lines
Serviceable Condition



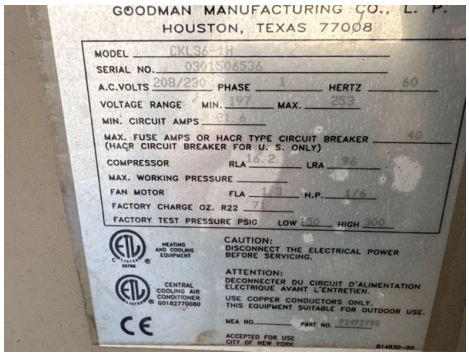
Cooling Equipment: Electrical Disconnect
Tumble Switch

Cooling Equipment : Location
Right

Cooling Equipment : Operation
Not Inspected

Cooling Equipment : Temperature Differential
0 Degrees

Cooling Equipment : Manufacturer
Goodman



Cooling Equipment : Model
CKL36-1H

Cooling Equipment : Serial Number
0301506536

Cooling Equipment : Area Served
1st Floor and Basement

Cooling Equipment : Age
22 Years

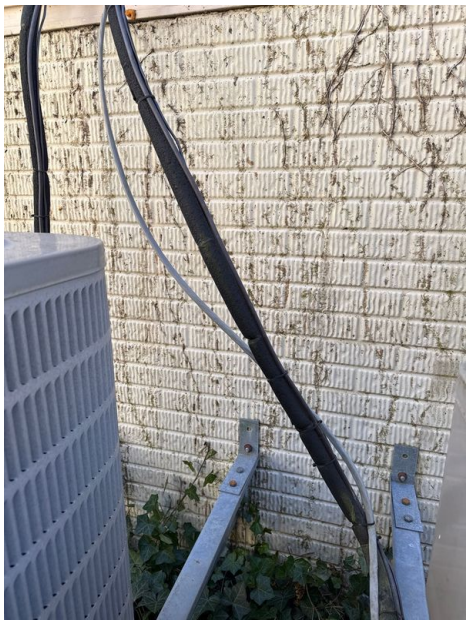
Cooling Equipment : Type
Central AC

Cooling Equipment : Capacity
3.0 Tons

Cooling Equipment : Energy Source/Type
Central Air Conditioner

Cooling Equipment : Visible Coil
Copper w/ Aluminum Fins

Cooling Equipment : Refrigerant Lines
Serviceable Condition



Cooling Equipment : Electrical Disconnect
Tumble Switch

Limitations

Cooling Equipment

LOW TEMPERATURE

The A/C unit was not tested due to low outdoor temperature. This may cause damage to the unit.

Cooling Equipment

LOW TEMPERATURE

The A/C unit was not tested due to low outdoor temperature. This may cause damage to the unit.

Observations

33.1.1 Cooling Equipment

Maintenance Item

OLD

The unit was at or near the end of the manufacturer's life expectancy of 15-20 years.

33.1.2 Cooling Equipment

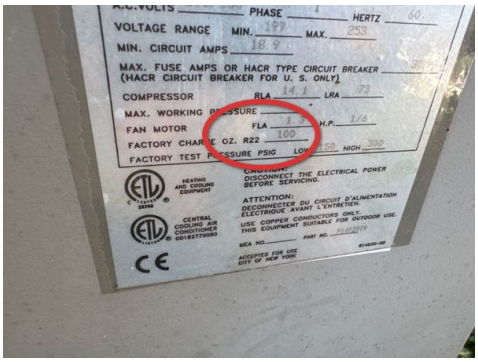
Maintenance Item

REFRIGERANT

The unit was using R-22 refrigerant. This type of refrigerant is no longer available.

Recommendation

Contact a qualified heating and cooling contractor



33.2.1 Cooling Equipment

Maintenance Item

OLD

The unit was at or near the end of the manufacturer's life expectancy of 15-20 years.

33.2.2 Cooling Equipment

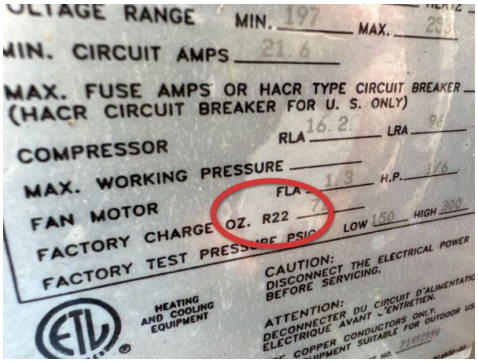
Maintenance Item

REFRIGERANT

The unit was using R-22 refrigerant. This type of refrigerant is no longer available.

Recommendation

Contact a qualified heating and cooling contractor



34: HEATING SYSTEM

		IN	NI	NP	D	Marginal	Safety	Age
34.1	Heating Equipment					X		X
34.2	Heating Equipment					X		X

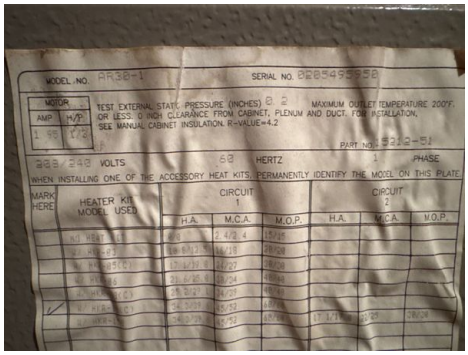
IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Heating Equipment: Operation
Functional

Heating Equipment: Manufacturer
Goodman

Heating Equipment: Model Number
AR30-1



Heating Equipment: Serial Number
0205495950

Heating Equipment: Energy Source
Electric

Heating Equipment: Heat Type
Forced Air

Heating Equipment: Heat Exchanger
Copper Coil w/ Aluminum Fins

Heating Equipment: Capacity
2.5 Ton

Heating Equipment: Area Served
2nd Floor

Heating Equipment: Age
22 Years

Heating Equipment: Filter
Located in Return Grate

Heating Equipment: Flue Pipe
None

Heating Equipment: Humidifier
None

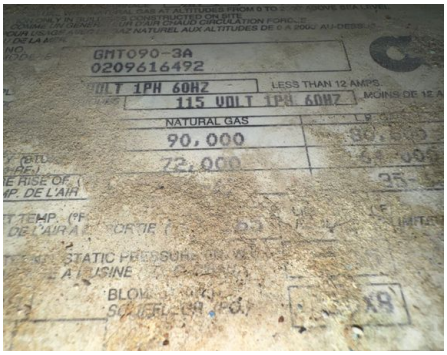
Heating Equipment: Air Temp Out
104.5

Heating Equipment : Operation
Functional

Heating Equipment : Manufacturer
Goodman

Heating Equipment : Model Number
GMT090-3A

Heating Equipment : Serial Number
0209616492



Heating Equipment : Energy Source
Natural Gas

Heating Equipment : Heat Type
Forced Air

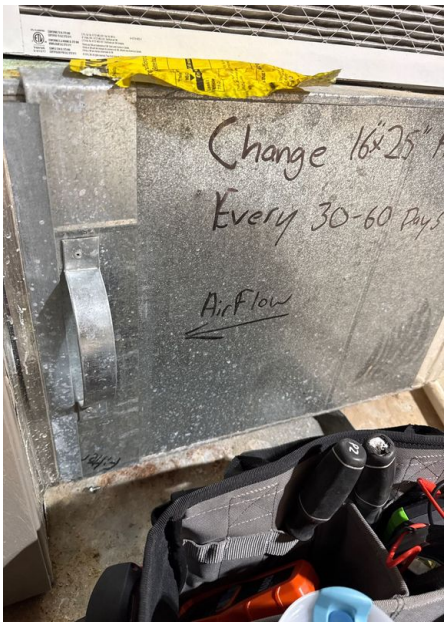
Heating Equipment : Heat Exchanger
4 Burner

Heating Equipment : Capacity
90000 BTUH

Heating Equipment : Area Served
1st Floor and Basement

Heating Equipment : Age
22 Years

Heating Equipment : Filter
16x25x1

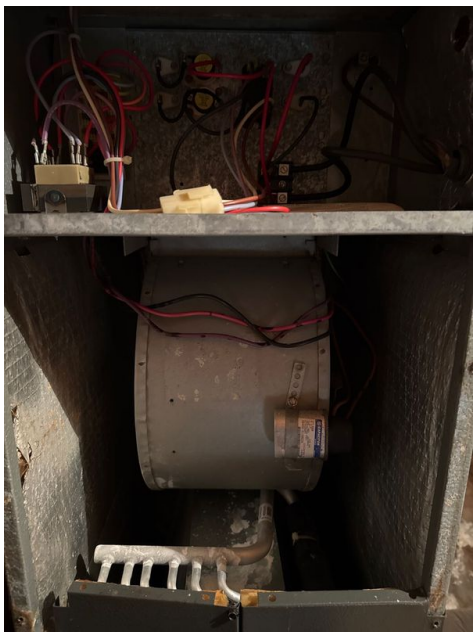


Heating Equipment : Flue Pipe
Single Wall

Heating Equipment : Humidifier
None

Heating Equipment : Air Temp Out
179.9

Heating Equipment: Location
Attic



Heating Equipment : Location

Basement

Observations

34.1.1 Heating Equipment

Repair Needed

NEEDS SERVICING/CLEANING

Furnace should be cleaned and serviced annually. Recommend a qualified HVAC contractor clean, service and certify furnace.

Here is a resource on the importance of furnace maintenance.

Recommendation

Contact a qualified HVAC professional.

34.1.2 Heating Equipment

Maintenance Item

AGE

The unit was at or near the end of the manufacturer's life expectancy.

Recommendation

Contact a qualified heating and cooling contractor

34.2.1 Heating Equipment

Repair Needed

NEEDS SERVICING/CLEANING

Furnace should be cleaned and serviced annually. Recommend a qualified HVAC contractor clean, service and certify furnace.

Here is a resource on the importance of furnace maintenance.

Recommendation

Contact a qualified HVAC professional.

34.2.2 Heating Equipment

Maintenance Item

AGE

The unit was at or near the end of the manufacturer's life expectancy.

Recommendation

Contact a qualified heating and cooling contractor

35: PLUMBING

		IN	NI	NP	D	Marginal	Safety	Age
35.1	Water Main	X						
35.2	Main Water Shutoff	X						
35.3	Water Lines	X						
35.4	Drain Pipes	X						
35.5	Vent Pipes	X						
35.6	Gas Lines	X						
35.7	Water Heater				X			X

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Water Main: Material
ABS

Main Water Shutoff: Location
Basement

Water Lines: Material
CPVC

Drain Pipes: Material
PVC

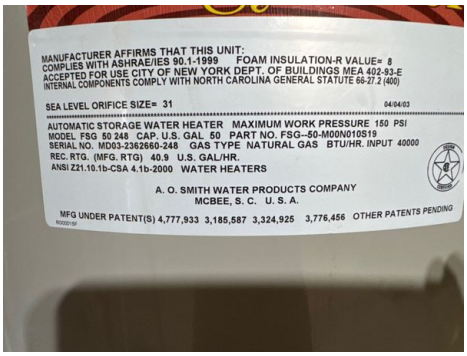
Vent Pipes: Material
PVC

Gas Lines: Material
Copper

Water Heater: Location
Basement

Water Heater: Manufacturer
A. O. Smith

Water Heater: Model
FSG 50 248



Water Heater: Serial Number
MD03-2362660-248

Water Heater: Type
Gas

Water Heater: Capacity
50 Gallons

Water Heater: Age
22 Years

Water Heater: Area Served
Whole House

Water Heater: Flue Pipe
Single Wall

Water Heater: TPRV and Drain Tube
CPVC

Observations

35.7.1 Water Heater

Maintenance Item

AGE

The unit was at or near the end of the manufacturer's life expectancy of 10-15 years.

Recommendation

Recommend monitoring.

35.7.2 Water Heater

Immediate Action Needed

TPRV DRAIN TUBE LEAKING

Water was actively leaking from the temperature pressure relief valve drain tube

Recommendation

Contact a qualified plumbing contractor.

TPRV Dripping

36: ELECTRICAL

		IN	NI	NP	D	Marginal	Safety	Age
36.1	Service Entrance Conductors	X						
36.2	Branch Wiring Circuits, Breakers & Fuses	X						
36.3	Electrical Panel	X						

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Service Entrance Conductors: Electrical Service Conductors
Below Ground, Aluminum

Service Entrance Conductors: Ground
Rod In Ground

Branch Wiring Circuits, Breakers & Fuses: Breakers
Copper

Branch Wiring Circuits, Breakers & Fuses: Branch Wire 15 and 20 AMP
Aluminum

Branch Wiring Circuits, Breakers & Fuses: Wiring Method
Romex

Electrical Panel: Panel Type
Circuit Breaker

Electrical Panel: Panel Manufacturer
General Electric

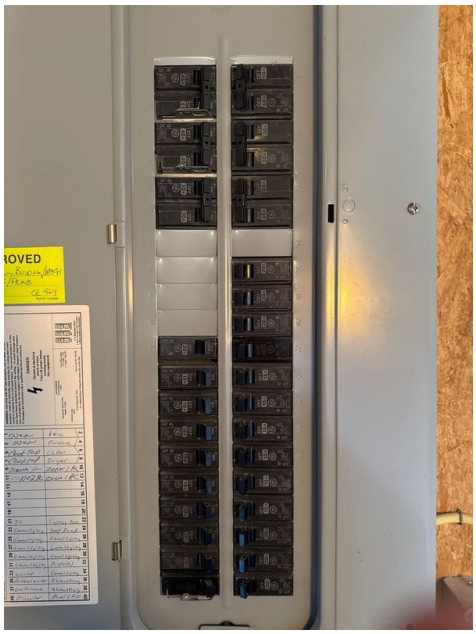
Electrical Panel: Panel Capacity
200 AMP

Electrical Panel: Main Breaker
200 AMPs

Electrical Panel: Bonded
Yes

Electrical Panel: Panel Location

Main



Observations

36.3.1 Electrical Panel

Repair Needed

BREAK FRONT SCREWS

The panel was missing screws and/or they were the wrong type. Break front screws should be flat so there is no chance they will poke a live electrical wire.

Recommendation

Recommended DIY Project

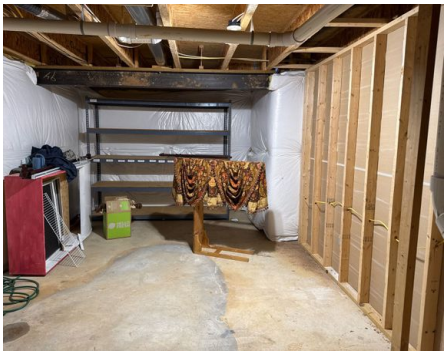
37: BASEMENT, CRAWLSPACE

		IN	NI	NP	D	Marginal	Safety	Age
37.1	Ceiling Structure	X						
37.2	Wall Structure	X						
37.3	Floor Structure	X						
37.4	Doors	X						
37.5	Windows			X				
37.6	Basement Stairs	X						
37.7	Electrical	X						
37.8	Insulation	X						
37.9	Vapor Retarders (Crawlspace or Basement)	X						
37.10	Sump Pump	X						

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Overview Pictures



Type
Basement

Inspection Method
In Space

Unable to Inspect
0 %

Ceiling Structure: Framing
Engineered I beam

Wall Structure: Material
Exposed Framing

Floor Structure: Sub-floor
OSB

Floor Structure: Basement/Crawlspace Floor
Concrete

Doors: Material
Hollow Wood

Windows: Window Type
None

Basement Stairs: Material
Wood

Electrical: Type
120VAC GFCI & Lighting

Vapor Retarders (Crawlspace or Basement): Type
Vinyl

Vapor Retarders (Crawlspace or Basement): Location
Under Entire Home

Sump Pump: Location
Basement

Insulation: Type
Batts

Not all basement / crawl spaces require insulation. If the space is not conditioned (heated/cooled) then insulation is recommended to help isolate the conditioned spaces above from the area.

38: STRUCTURE

		IN	NI	NP	D	Marginal	Safety	Age
38.1	Foundation	X						
38.2	Beams	X						
38.3	Bearing Walls	X						
38.4	Floor Joists	X						
38.5	Sub Floor	X						
38.6	Piers / Posts	X						
38.7	Floor / Slab	X						

IN = Inspected NI = Not Inspected NP = Not Present D = Defective Marginal = Marginal Safety = Safety Age = Age

Information

Foundation: Material
Poured Concrete

Beams: Type
Steel I-Beam

Bearing Walls: Type
Wood

Floor Joists: Type
I-Beam

Sub Floor: Material
OSB

Piers / Posts: Type
Steel Posts

Floor / Slab: Material
Poured Slab

STANDARDS OF PRACTICE

Inspection Details
1.1. A home inspection is a non-invasive, visual examination of the accessible areas of a residential property (as delineated below), performed for a fee, which is designed to identify defects within specific systems and components defined by these Standards that are both observed and deemed material by the inspector. The scope of work may be modified by the Client and Inspector prior to the inspection process.

1. The home inspection is based on the observations made on the date of the inspection, and not a prediction of future conditions.

2. The home inspection will not reveal every issue that exists or ever could exist, but only those material defects observed on the date of the inspection.

1.2. A material defect is a specific issue with a system or component of a residential property that may have a significant, adverse impact on the value of the property, or that poses an unreasonable risk to people. The fact that a system or component is near, at, or beyond the end of its normal, useful life is not, in itself, a material defect.

1.3. A home inspection report shall identify, in written format, defects within specific systems and components defined by these Standards that are both observed and deemed material by the inspector. Inspection reports may include additional comments and recommendations.

2. Limitations, Exceptions & Exclusions

2.1. Limitations:

1. An inspection is not technically exhaustive.
2. An inspection will not identify concealed or latent defects.
3. An inspection will not deal with aesthetic concerns, or what could be deemed matters of taste, cosmetic defects, etc.
4. An inspection will not determine the suitability of the property for any use.
5. An inspection does not determine the market value of the property or its marketability.
6. An inspection does not determine the insurability of the property.
7. An inspection does not determine the advisability or inadvisability of the purchase of the inspected property.
8. An inspection does not determine the life expectancy of the property or any components or systems therein.
9. An inspection does not include items not permanently installed.
10. This Standards of Practice applies to properties with four or fewer residential units and their attached garages and carports.

2.2. Exclusions:

I. The inspector is not required to determine:

1. property boundary lines or encroachments.
2. the condition of any component or system that is not readily accessible.
3. the service life expectancy of any component or system.
4. the size, capacity, BTU, performance or efficiency of any component or system.
5. the cause or reason of any condition.
6. the cause for the need of correction, repair or replacement of any system or component.
7. future conditions.
8. compliance with codes or regulations.
9. the presence of evidence of rodents, birds, bats, animals, insects, or other pests.
10. the presence of mold, mildew or fungus.
11. the presence of airborne hazards, including radon.
12. the air quality.
13. the existence of environmental hazards, including lead paint, asbestos or toxic drywall.
14. the existence of electromagnetic fields.
15. any hazardous waste conditions.
16. any manufacturers' recalls or conformance with manufacturer installation, or any information included for consumer protection purposes.
17. acoustical properties.
18. correction, replacement or repair cost estimates.
19. estimates of the cost to operate any given system.

II. The inspector is not required to operate:

1. any system that is shut down.
2. any system that does not function properly.
3. or evaluate low-voltage electrical systems, such as, but not limited to:
    1. phone lines;
    2. cable lines;
    3. satellite dishes;
    4. antennae;
    5. lights; or
    6. remote controls.
4. any system that does not turn on with the use of normal operating controls.
5. any shut-off valves or manual stop valves.
6. any electrical disconnect or over-current protection devices.
7. any alarm systems.
8. moisture meters, gas detectors or similar equipment.

III. The inspector is not required to:

1. move any personal items or other obstructions, such as, but not limited to: throw rugs, carpeting, wall coverings, furniture, ceiling tiles, window coverings, equipment, plants, ice, debris, snow, water, dirt, pets, or anything else that might restrict the visual inspection.
2. dismantle, open or uncover any system or component.
3. enter or access any area that may, in the inspector's opinion, be unsafe.
4. enter crawlspaces or other areas that may be unsafe or not readily accessible.
5. inspect underground items, such as, but not limited to: lawn-irrigation systems, or underground storage tanks (or indications of their presence), whether abandoned or actively used.
6. do anything that may, in the inspector's opinion, be unsafe or dangerous to the inspector or others, or damage property, such as, but not limited to: walking on roof surfaces, climbing ladders, entering attic spaces, or negotiating with pets.
7. inspect decorative items.
8. inspect common elements or areas in multi-unit housing.
9. inspect intercoms, speaker systems or security systems.
10. offer guarantees or warranties.
11. offer or perform any engineering services.
12. offer or perform any trade or professional service other than a home inspection.
13. research the history of the property, or report on its potential for alteration, modification, extendibility or suitability for a specific or proposed use for occupancy.
14. determine the age of construction or installation of any system, structure or component of a building, or differentiate between original construction and subsequent additions, improvements, renovations or replacements.
15. determine the insurability of a property.
16. perform or offer Phase 1 or environmental audits.
17. inspect any system or component that is not included in these Standards.

Main Roof
I. The inspector shall inspect from ground level or the eaves: A. the roof-covering materials; B. the gutters; C. the downspouts; D. the vents, flashing, skylights, chimney, and other roof penetrations; and E. the general structure of the roof from the readily accessible panels, doors or stairs. II. The inspector shall describe: A. the type of roof-covering materials. III. The inspector shall report as in need of correction: A. observed indications of active roof leaks. IV. The inspector is not required to: A. walk on any roof surface. B. predict the service life expectancy. C. inspect underground downspout diverter drainage pipes. D. remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces. E. move insulation. F. inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments. G. walk on any roof areas that appear, in the inspectors opinion, to be unsafe. H. walk on any roof areas if doing so might, in the inspector's opinion, cause damage. I. perform a water test. J. warrant or certify the roof. K. confirm proper fastening or installation of any roof-covering material.

Garage Roof
I. The inspector shall inspect from ground level or the eaves: A. the roof-covering materials; B. the gutters; C. the downspouts; D. the vents, flashing, skylights, chimney, and other roof penetrations; and E. the general structure of the roof from the readily accessible panels, doors or stairs. II. The inspector shall describe: A. the type of roof-covering materials. III. The inspector shall report as in need of correction: A. observed indications of active roof leaks. IV. The inspector is not required to: A. walk on any roof surface. B. predict the service life expectancy. C. inspect underground downspout diverter drainage pipes. D. remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces. E. move insulation. F. inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments. G. walk on any roof areas that appear, in the inspectors opinion, to be unsafe. H. walk on any roof areas if doing so might, in the inspector's opinion, cause damage. I. perform a water test. J. warrant or certify the roof. K. confirm proper fastening or installation of any roof-covering material.

Rear Bump Out Roof
I. The inspector shall inspect from ground level or the eaves: A. the roof-covering materials; B. the gutters; C. the downspouts; D. the vents, flashing, skylights, chimney, and other roof penetrations; and E. the general structure of the roof from the readily accessible panels, doors or stairs. II. The inspector shall describe: A. the type of roof-covering materials. III. The inspector shall report as in need of correction: A. observed indications of active roof leaks. IV. The inspector is not required to: A. walk on any roof surface. B. predict the service life expectancy. C. inspect underground downspout diverter drainage pipes. D. remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces. E. move insulation. F. inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments. G. walk on any roof areas that appear, in the inspectors opinion, to be unsafe. H. walk on any roof areas if doing so might, in the inspector's opinion, cause damage. I. perform a water test. J. warrant or certify the roof. K. confirm proper fastening or installation of any roof-covering material.

Front Dormer Roof
I. The inspector shall inspect from ground level or the eaves: A. the roof-covering materials; B. the gutters; C. the downspouts; D. the vents, flashing, skylights, chimney, and other roof penetrations; and E. the general structure of the roof from the readily accessible panels, doors or stairs. II. The inspector shall describe: A. the type of roof-covering materials. III. The inspector shall report as in need of correction: A. observed indications of active roof leaks. IV. The inspector is not required to: A. walk on any roof surface. B. predict the service life expectancy. C. inspect underground downspout diverter drainage pipes. D. remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces. E. move insulation. F. inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments. G. walk on any roof areas that appear, in the inspectors opinion, to be unsafe. H. walk on any roof areas if doing so might, in the inspector's opinion, cause damage. I. perform a water test. J. warrant or certify the roof. K. confirm proper fastening or installation of any roof-covering material.

Side Dormer Roof
I. The inspector shall inspect from ground level or the eaves: A. the roof-covering materials; B. the gutters; C. the downspouts; D. the vents, flashing, skylights, chimney, and other roof penetrations; and E. the general structure of the roof from the readily accessible panels, doors or stairs. II. The inspector shall describe: A. the type of roof-covering materials. III. The inspector shall report as in need of correction: A. observed indications of active roof leaks. IV. The inspector is not required to: A. walk on any roof surface. B. predict the service life expectancy. C. inspect underground downspout diverter drainage pipes. D. remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces. E. move insulation. F. inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments. G. walk on any roof areas that appear, in the inspectors opinion, to be unsafe. H. walk on any roof areas if doing so might, in the inspector's opinion, cause damage. I. perform a water test. J. warrant or certify the roof. K. confirm proper fastening or installation of any roof-covering material.

Main Attic
I. The inspector shall inspect: A. insulation in unfinished spaces, including attics, crawlspaces and foundation areas; B. ventilation of unfinished spaces, including attics, crawlspaces and foundation areas; and C. mechanical exhaust systems in the kitchen, bathrooms and laundry area. II. The inspector shall describe: A. the type of insulation observed; and B. the approximate average depth of insulation observed at the unfinished attic floor area or roof structure. III. The inspector shall report as in need of correction: A. the general absence of insulation or ventilation in unfinished spaces. IV. The inspector is not required to: A. enter the attic or any unfinished spaces that are not readily accessible, or where entry could cause damage or, in the inspector's opinion, pose a safety hazard. B. move, touch or disturb insulation. C. move, touch or disturb vapor retarders. D. break or otherwise damage the surface finish or weather seal on or around access panels or covers. E. identify the composition or R-value of insulation material. F. activate thermostatically operated fans. G. determine the types of materials used in insulation or wrapping of pipes, ducts, jackets, boilers or wiring. H. determine the adequacy of ventilation.

Exterior
I. The inspector shall inspect: A. the exterior wall-covering materials, flashing and trim; B. all exterior doors; C. adjacent walkways and driveways; D. stairs, steps, stoops, stairways and ramps; E. porches, patios, decks, balconies and carports; F. railings, guards and handrails; G. the eaves, soffits and fascia; H. a representative number of windows; and I. vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion. II. The inspector shall describe: A. the type of exterior wall-covering materials. III. The inspector shall report as in need of correction: A. any improper spacing between intermediate balusters, spindles and rails. IV. The inspector is not required to: A. inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting. B. inspect items that are not visible or readily accessible from the ground, including window and door flashing. C. inspect or identify geological, geotechnical, hydrological or soil conditions. D. inspect recreational facilities or playground equipment. E. inspect seawalls, breakwalls or docks. F. inspect erosion-control or earth-stabilization measures. G. inspect for safety-type glass. H. inspect underground utilities. I. inspect underground items. J. inspect wells or springs. K. inspect solar, wind or geothermal systems. L. inspect swimming pools or spas. M. inspect wastewater treatment systems, septic systems or cesspools. N. inspect irrigation or sprinkler systems. O. inspect drainfields or dry wells. P. determine the integrity of multiple-pane window glazing or thermal window seals.

2nd Floor Landing & Stairs
I. The inspector shall inspect:

1. a representative number of doors and windows by opening and closing them;
2. floors, walls and ceilings;
3. stairs, steps, landings, stairways and ramps;
4. railings, guards and handrails; and
5. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

II. The inspector shall describe:

1. a garage vehicle door as manually-operated or installed with a garage door opener.

III. The inspector shall report as in need of correction:

1. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
2. photo-electric safety sensors that did not operate properly; and
3. any window that was obviously fogged or displayed other evidence of broken seals.

IV. The inspector is not required to:

1. inspect paint, wallpaper, window treatments or finish treatments.
2. inspect floor coverings or carpeting.
3. inspect central vacuum systems.
4. inspect for safety glazing.
5. inspect security systems or components.
6. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures.
7. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
8. move suspended-ceiling tiles.
9. inspect or move any household appliances.
10. inspect or operate equipment housed in the garage, except as otherwise noted.
11. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.
12. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.
13. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.
14. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.
15. inspect microwave ovens or test leakage from microwave ovens.
16. operate or examine any sauna, steam-generating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.
17. inspect elevators.
18. inspect remote controls.
19. inspect appliances.
20. inspect items not permanently installed.
21. discover firewall compromises.
22. inspect pools, spas or fountains.
23. determine the adequacy of whirlpool or spa jets, water force, or bubble effects.
24. determine the structural integrity or leakage of pools or spas.

Entry / Foyer

I. The inspector shall inspect:

1. a representative number of doors and windows by opening and closing them;
2. floors, walls and ceilings;
3. stairs, steps, landings, stairways and ramps;
4. railings, guards and handrails; and
5. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

II. The inspector shall describe:

1. a garage vehicle door as manually-operated or installed with a garage door opener.

III. The inspector shall report as in need of correction:

1. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
2. photo-electric safety sensors that did not operate properly; and
3. any window that was obviously fogged or displayed other evidence of broken seals.

IV. The inspector is not required to:

1. inspect paint, wallpaper, window treatments or finish treatments.

2. inspect floor coverings or carpeting.
3. inspect central vacuum systems.
4. inspect for safety glazing.
5. inspect security systems or components.
6. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures.
7. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
8. move suspended-ceiling tiles.
9. inspect or move any household appliances.
10. inspect or operate equipment housed in the garage, except as otherwise noted.
11. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.
12. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.
13. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.
14. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.
15. inspect microwave ovens or test leakage from microwave ovens.
16. operate or examine any sauna, steam-generating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.
17. inspect elevators.
18. inspect remote controls.
19. inspect appliances.
20. inspect items not permanently installed.
21. discover firewall compromises.
22. inspect pools, spas or fountains.
23. determine the adequacy of whirlpool or spa jets, water force, or bubble effects.
24. determine the structural integrity or leakage of pools or spas.

Living Room

I. The inspector shall inspect:

1. a representative number of doors and windows by opening and closing them;
2. floors, walls and ceilings;
3. stairs, steps, landings, stairways and ramps;
4. railings, guards and handrails; and
5. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

II. The inspector shall describe:

1. a garage vehicle door as manually-operated or installed with a garage door opener.

III. The inspector shall report as in need of correction:

1. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
2. photo-electric safety sensors that did not operate properly; and
3. any window that was obviously fogged or displayed other evidence of broken seals.

IV. The inspector is not required to:

1. inspect paint, wallpaper, window treatments or finish treatments.
2. inspect floor coverings or carpeting.
3. inspect central vacuum systems.
4. inspect for safety glazing.
5. inspect security systems or components.
6. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures.
7. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
8. move suspended-ceiling tiles.
9. inspect or move any household appliances.
10. inspect or operate equipment housed in the garage, except as otherwise noted.
11. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.
12. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.
13. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.
14. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.
15. inspect microwave ovens or test leakage from microwave ovens.

16. operate or examine any sauna, steam-generating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.
17. inspect elevators.
18. inspect remote controls.
19. inspect appliances.
20. inspect items not permanently installed.
21. discover firewall compromises.
22. inspect pools, spas or fountains.
23. determine the adequacy of whirlpool or spa jets, water force, or bubble effects.
24. determine the structural integrity or leakage of pools or spas.

Dining Room
I. The inspector shall inspect:

1. a representative number of doors and windows by opening and closing them;
2. floors, walls and ceilings;
3. stairs, steps, landings, stairways and ramps;
4. railings, guards and handrails; and
5. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

II. The inspector shall describe:

1. a garage vehicle door as manually-operated or installed with a garage door opener.

III. The inspector shall report as in need of correction:

1. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
2. photo-electric safety sensors that did not operate properly; and
3. any window that was obviously fogged or displayed other evidence of broken seals.

IV. The inspector is not required to:

1. inspect paint, wallpaper, window treatments or finish treatments.
2. inspect floor coverings or carpeting.
3. inspect central vacuum systems.
4. inspect for safety glazing.
5. inspect security systems or components.
6. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures.
7. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
8. move suspended-ceiling tiles.
9. inspect or move any household appliances.
10. inspect or operate equipment housed in the garage, except as otherwise noted.
11. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.
12. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.
13. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.
14. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.
15. inspect microwave ovens or test leakage from microwave ovens.
16. operate or examine any sauna, steam-generating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.
17. inspect elevators.
18. inspect remote controls.
19. inspect appliances.
20. inspect items not permanently installed.
21. discover firewall compromises.
22. inspect pools, spas or fountains.
23. determine the adequacy of whirlpool or spa jets, water force, or bubble effects.
24. determine the structural integrity or leakage of pools or spas.

Breakfast Area
I. The inspector shall inspect:

1. a representative number of doors and windows by opening and closing them;
2. floors, walls and ceilings;

3. stairs, steps, landings, stairways and ramps;
4. railings, guards and handrails; and
5. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

II. The inspector shall describe:

1. a garage vehicle door as manually-operated or installed with a garage door opener.

III. The inspector shall report as in need of correction:

1. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
2. photo-electric safety sensors that did not operate properly; and
3. any window that was obviously fogged or displayed other evidence of broken seals.

IV. The inspector is not required to:

1. inspect paint, wallpaper, window treatments or finish treatments.
2. inspect floor coverings or carpeting.
3. inspect central vacuum systems.
4. inspect for safety glazing.
5. inspect security systems or components.
6. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures.
7. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
8. move suspended-ceiling tiles.
9. inspect or move any household appliances.
10. inspect or operate equipment housed in the garage, except as otherwise noted.
11. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.
12. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.
13. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.
14. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.
15. inspect microwave ovens or test leakage from microwave ovens.
16. operate or examine any sauna, steam-generating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.
17. inspect elevators.
18. inspect remote controls.
19. inspect appliances.
20. inspect items not permanently installed.
21. discover firewall compromises.
22. inspect pools, spas or fountains.
23. determine the adequacy of whirlpool or spa jets, water force, or bubble effects.
24. determine the structural integrity or leakage of pools or spas.

Family Room

I. The inspector shall inspect:

1. a representative number of doors and windows by opening and closing them;
2. floors, walls and ceilings;
3. stairs, steps, landings, stairways and ramps;
4. railings, guards and handrails; and
5. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

II. The inspector shall describe:

1. a garage vehicle door as manually-operated or installed with a garage door opener.

III. The inspector shall report as in need of correction:

1. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
2. photo-electric safety sensors that did not operate properly; and
3. any window that was obviously fogged or displayed other evidence of broken seals.

IV. The inspector is not required to:

1. inspect paint, wallpaper, window treatments or finish treatments.
2. inspect floor coverings or carpeting.
3. inspect central vacuum systems.

4. inspect for safety glazing.
5. inspect security systems or components.
6. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures.
7. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
8. move suspended-ceiling tiles.
9. inspect or move any household appliances.
10. inspect or operate equipment housed in the garage, except as otherwise noted.
11. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.
12. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.
13. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.
14. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.
15. inspect microwave ovens or test leakage from microwave ovens.
16. operate or examine any sauna, steam-generating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.
17. inspect elevators.
18. inspect remote controls.
19. inspect appliances.
20. inspect items not permanently installed.
21. discover firewall compromises.
22. inspect pools, spas or fountains.
23. determine the adequacy of whirlpool or spa jets, water force, or bubble effects.
24. determine the structural integrity or leakage of pools or spas.

Office / Den

I. The inspector shall inspect:

1. a representative number of doors and windows by opening and closing them;
2. floors, walls and ceilings;
3. stairs, steps, landings, stairways and ramps;
4. railings, guards and handrails; and
5. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

II. The inspector shall describe:

1. a garage vehicle door as manually-operated or installed with a garage door opener.

III. The inspector shall report as in need of correction:

1. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
2. photo-electric safety sensors that did not operate properly; and
3. any window that was obviously fogged or displayed other evidence of broken seals.

IV. The inspector is not required to:

1. inspect paint, wallpaper, window treatments or finish treatments.
2. inspect floor coverings or carpeting.
3. inspect central vacuum systems.
4. inspect for safety glazing.
5. inspect security systems or components.
6. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures.
7. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
8. move suspended-ceiling tiles.
9. inspect or move any household appliances.
10. inspect or operate equipment housed in the garage, except as otherwise noted.
11. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.
12. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.
13. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.
14. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.
15. inspect microwave ovens or test leakage from microwave ovens.
16. operate or examine any sauna, steam-generating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.
17. inspect elevators.

18. inspect remote controls.
19. inspect appliances.
20. inspect items not permanently installed.
21. discover firewall compromises.
22. inspect pools, spas or fountains.
23. determine the adequacy of whirlpool or spa jets, water force, or bubble effects.
24. determine the structural integrity or leakage of pools or spas.

Basement Rec Room

I. The inspector shall inspect:

1. a representative number of doors and windows by opening and closing them;
2. floors, walls and ceilings;
3. stairs, steps, landings, stairways and ramps;
4. railings, guards and handrails; and
5. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

II. The inspector shall describe:

1. a garage vehicle door as manually-operated or installed with a garage door opener.

III. The inspector shall report as in need of correction:

1. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
2. photo-electric safety sensors that did not operate properly; and
3. any window that was obviously fogged or displayed other evidence of broken seals.

IV. The inspector is not required to:

1. inspect paint, wallpaper, window treatments or finish treatments.
2. inspect floor coverings or carpeting.
3. inspect central vacuum systems.
4. inspect for safety glazing.
5. inspect security systems or components.
6. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures.
7. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
8. move suspended-ceiling tiles.
9. inspect or move any household appliances.
10. inspect or operate equipment housed in the garage, except as otherwise noted.
11. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.
12. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.
13. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.
14. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.
15. inspect microwave ovens or test leakage from microwave ovens.
16. operate or examine any sauna, steam-generating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.
17. inspect elevators.
18. inspect remote controls.
19. inspect appliances.
20. inspect items not permanently installed.
21. discover firewall compromises.
22. inspect pools, spas or fountains.
23. determine the adequacy of whirlpool or spa jets, water force, or bubble effects.
24. determine the structural integrity or leakage of pools or spas.

Family Room Fireplace

I. The inspector shall inspect:

1. readily accessible and visible portions of the fireplaces and chimneys;
2. lintels above the fireplace openings;
3. damper doors by opening and closing them, if readily accessible and manually operable; and
4. cleanout doors and frames.

II. The inspector shall describe:

1. the type of fireplace.

III. The inspector shall report as in need of correction:

1. evidence of joint separation, damage or deterioration of the hearth, hearth extension or chambers;
2. manually operated dampers that did not open and close;
3. the lack of a smoke detector in the same room as the fireplace;
4. the lack of a carbon monoxide detector in the same room as the fireplace; and
5. cleanouts not made of metal, pre-cast cement, or other non-combustible material.

IV. The inspector is not required to:

1. inspect the flue or vent system.
2. inspect the interior of chimneys or flues, fire doors or screens, seals or gaskets, or mantels.
3. determine the need for a chimney sweep.
4. operate gas fireplace inserts.
5. light pilot flames.
6. determine the appropriateness of any installation.
7. inspect automatic fuel-fed devices.
8. inspect combustion and/or make-up air devices.
9. inspect heat-distribution assists, whether gravity-controlled or fan-assisted.
10. ignite or extinguish fires.
11. determine the adequacy of drafts or draft characteristics.
12. move fireplace inserts, stoves or firebox contents.
13. perform a smoke test.
14. dismantle or remove any component.
15. perform a National Fire Protection Association (NFPA)-style inspection.
16. perform a Phase I fireplace and chimney inspection.

Basement Fireplace

I. The inspector shall inspect:

1. readily accessible and visible portions of the fireplaces and chimneys;
2. lintels above the fireplace openings;
3. damper doors by opening and closing them, if readily accessible and manually operable; and
4. cleanout doors and frames.

II. The inspector shall describe:

1. the type of fireplace.

III. The inspector shall report as in need of correction:

1. evidence of joint separation, damage or deterioration of the hearth, hearth extension or chambers;
2. manually operated dampers that did not open and close;
3. the lack of a smoke detector in the same room as the fireplace;
4. the lack of a carbon monoxide detector in the same room as the fireplace; and
5. cleanouts not made of metal, pre-cast cement, or other non-combustible material.

IV. The inspector is not required to:

1. inspect the flue or vent system.
2. inspect the interior of chimneys or flues, fire doors or screens, seals or gaskets, or mantels.
3. determine the need for a chimney sweep.
4. operate gas fireplace inserts.
5. light pilot flames.
6. determine the appropriateness of any installation.
7. inspect automatic fuel-fed devices.
8. inspect combustion and/or make-up air devices.
9. inspect heat-distribution assists, whether gravity-controlled or fan-assisted.
10. ignite or extinguish fires.
11. determine the adequacy of drafts or draft characteristics.
12. move fireplace inserts, stoves or firebox contents.
13. perform a smoke test.
14. dismantle or remove any component.
15. perform a National Fire Protection Association (NFPA)-style inspection.

16. perform a Phase I fireplace and chimney inspection.

Kitchen
10.1 The inspector shall inspect: F. installed ovens, ranges, surface cooking appliances, microwave ovens, dishwashing machines, and food waste grinders by using normal operating controls to activate the primary function. 10.2 The inspector is NOT required to inspect: G. installed and free-standing kitchen and laundry appliances not listed in Section 10.1.F. H. appliance thermostats including their calibration, adequacy of heating elements, self cleaning oven cycles, indicator lights, door seals, timers, clocks, timed features, and other specialized features of the appliance. I. operate, or con rm the operation of every control and feature of an inspected appliance.

Owners Bedroom
I. The inspector shall inspect:

1. a representative number of doors and windows by opening and closing them;
2. floors, walls and ceilings;
3. stairs, steps, landings, stairways and ramps;
4. railings, guards and handrails; and
5. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

II. The inspector shall describe:

1. a garage vehicle door as manually-operated or installed with a garage door opener.

III. The inspector shall report as in need of correction:

1. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
2. photo-electric safety sensors that did not operate properly; and
3. any window that was obviously fogged or displayed other evidence of broken seals.

IV. The inspector is not required to:

1. inspect paint, wallpaper, window treatments or finish treatments.
2. inspect floor coverings or carpeting.
3. inspect central vacuum systems.
4. inspect for safety glazing.
5. inspect security systems or components.
6. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures.
7. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
8. move suspended-ceiling tiles.
9. inspect or move any household appliances.
10. inspect or operate equipment housed in the garage, except as otherwise noted.
11. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.
12. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.
13. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.
14. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.
15. inspect microwave ovens or test leakage from microwave ovens.
16. operate or examine any sauna, steam-generating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.
17. inspect elevators.
18. inspect remote controls.
19. inspect appliances.
20. inspect items not permanently installed.
21. discover firewall compromises.
22. inspect pools, spas or fountains.
23. determine the adequacy of whirlpool or spa jets, water force, or bubble effects.
24. determine the structural integrity or leakage of pools or spas.

Bedroom 2
I. The inspector shall inspect:

1. a representative number of doors and windows by opening and closing them;

2. floors, walls and ceilings;
3. stairs, steps, landings, stairways and ramps;
4. railings, guards and handrails; and
5. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

II. The inspector shall describe:

1. a garage vehicle door as manually-operated or installed with a garage door opener.

III. The inspector shall report as in need of correction:

1. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
2. photo-electric safety sensors that did not operate properly; and
3. any window that was obviously fogged or displayed other evidence of broken seals.

IV. The inspector is not required to:

1. inspect paint, wallpaper, window treatments or finish treatments.
2. inspect floor coverings or carpeting.
3. inspect central vacuum systems.
4. inspect for safety glazing.
5. inspect security systems or components.
6. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures.
7. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
8. move suspended-ceiling tiles.
9. inspect or move any household appliances.
10. inspect or operate equipment housed in the garage, except as otherwise noted.
11. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.
12. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.
13. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.
14. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.
15. inspect microwave ovens or test leakage from microwave ovens.
16. operate or examine any sauna, steam-generating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.
17. inspect elevators.
18. inspect remote controls.
19. inspect appliances.
20. inspect items not permanently installed.
21. discover firewall compromises.
22. inspect pools, spas or fountains.
23. determine the adequacy of whirlpool or spa jets, water force, or bubble effects.
24. determine the structural integrity or leakage of pools or spas.

Bedroom 3

I. The inspector shall inspect:

1. a representative number of doors and windows by opening and closing them;
2. floors, walls and ceilings;
3. stairs, steps, landings, stairways and ramps;
4. railings, guards and handrails; and
5. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

II. The inspector shall describe:

1. a garage vehicle door as manually-operated or installed with a garage door opener.

III. The inspector shall report as in need of correction:

1. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
2. photo-electric safety sensors that did not operate properly; and
3. any window that was obviously fogged or displayed other evidence of broken seals.

IV. The inspector is not required to:

1. inspect paint, wallpaper, window treatments or finish treatments.
2. inspect floor coverings or carpeting.

3. inspect central vacuum systems.
4. inspect for safety glazing.
5. inspect security systems or components.
6. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures.
7. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
8. move suspended-ceiling tiles.
9. inspect or move any household appliances.
10. inspect or operate equipment housed in the garage, except as otherwise noted.
11. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.
12. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.
13. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.
14. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.
15. inspect microwave ovens or test leakage from microwave ovens.
16. operate or examine any sauna, steam-generating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.
17. inspect elevators.
18. inspect remote controls.
19. inspect appliances.
20. inspect items not permanently installed.
21. discover firewall compromises.
22. inspect pools, spas or fountains.
23. determine the adequacy of whirlpool or spa jets, water force, or bubble effects.
24. determine the structural integrity or leakage of pools or spas.

Bedroom 4

I. The inspector shall inspect:

1. a representative number of doors and windows by opening and closing them;
2. floors, walls and ceilings;
3. stairs, steps, landings, stairways and ramps;
4. railings, guards and handrails; and
5. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

II. The inspector shall describe:

1. a garage vehicle door as manually-operated or installed with a garage door opener.

III. The inspector shall report as in need of correction:

1. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
2. photo-electric safety sensors that did not operate properly; and
3. any window that was obviously fogged or displayed other evidence of broken seals.

IV. The inspector is not required to:

1. inspect paint, wallpaper, window treatments or finish treatments.
2. inspect floor coverings or carpeting.
3. inspect central vacuum systems.
4. inspect for safety glazing.
5. inspect security systems or components.
6. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures.
7. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
8. move suspended-ceiling tiles.
9. inspect or move any household appliances.
10. inspect or operate equipment housed in the garage, except as otherwise noted.
11. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.
12. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.
13. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.
14. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.
15. inspect microwave ovens or test leakage from microwave ovens.
16. operate or examine any sauna, steam-generating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.

17. inspect elevators.
18. inspect remote controls.
19. inspect appliances.
20. inspect items not permanently installed.
21. discover firewall compromises.
22. inspect pools, spas or fountains.
23. determine the adequacy of whirlpool or spa jets, water force, or bubble effects.
24. determine the structural integrity or leakage of pools or spas.

2nd Floor Main Bathroom

I. The inspector shall inspect:

1. the main water supply shut-off valve;
2. the main fuel supply shut-off valve;
3. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;
4. interior water supply, including all fixtures and faucets, by running the water;
5. all toilets for proper operation by flushing;
6. all sinks, tubs and showers for functional drainage;
7. the drain, waste and vent system; and
8. drainage sump pumps with accessible floats.

II. The inspector shall describe:

1. whether the water supply is public or private based upon observed evidence;
2. the location of the main water supply shut-off valve;
3. the location of the main fuel supply shut-off valve;
4. the location of any observed fuel-storage system; and
5. the capacity of the water heating equipment, if labeled.

III. The inspector shall report as in need of correction:

1. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously;
2. deficiencies in the installation of hot and cold water faucets;
3. active plumbing water leaks that were observed during the inspection; and
4. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

IV. The inspector is not required to:

1. light or ignite pilot flames.
2. measure the capacity, temperature, age, life expectancy or adequacy of the water heater.
3. inspect the interior of flues or chimneys, combustion air systems, water softener or filtering systems, well pumps or tanks, safety or shut-off valves, floor drains, lawn sprinkler systems, or fire sprinkler systems.
4. determine the exact flow rate, volume, pressure, temperature or adequacy of the water supply.
5. determine the water quality, potability or reliability of the water supply or source.
6. open sealed plumbing access panels.
7. inspect clothes washing machines or their connections.
8. operate any valve.
9. test shower pans, tub and shower surrounds or enclosures for leakage or for functional overflow protection.
10. evaluate the compliance with conservation, energy or building standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping.
11. determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices.
12. determine whether there are sufficient cleanouts for effective cleaning of drains.
13. evaluate fuel storage tanks or supply systems.
14. inspect wastewater treatment systems.
15. inspect water treatment systems or water filters.
16. inspect water storage tanks, pressure pumps, or bladder tanks.
17. evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements.
18. evaluate or determine the adequacy of combustion air.
19. test, operate, open or close: safety controls, manual stop valves, temperature/pressure-relief valves, control valves, or check valves.
20. examine ancillary or auxiliary systems or components, such as, but not limited to, those related to solar water heating and hot water circulation.
21. determine the existence or condition of polybutylene, polyethylene, or similar plastic piping.
22. inspect or test for gas or fuel leaks, or indications thereof.

Owners Bathroom
I. The inspector shall inspect:

1. the main water supply shut-off valve;
2. the main fuel supply shut-off valve;
3. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;
4. interior water supply, including all fixtures and faucets, by running the water;
5. all toilets for proper operation by flushing;
6. all sinks, tubs and showers for functional drainage;
7. the drain, waste and vent system; and
8. drainage sump pumps with accessible floats.

II. The inspector shall describe:

1. whether the water supply is public or private based upon observed evidence;
2. the location of the main water supply shut-off valve;
3. the location of the main fuel supply shut-off valve;
4. the location of any observed fuel-storage system; and
5. the capacity of the water heating equipment, if labeled.

III. The inspector shall report as in need of correction:

1. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously;
2. deficiencies in the installation of hot and cold water faucets;
3. active plumbing water leaks that were observed during the inspection; and
4. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

IV. The inspector is not required to:

1. light or ignite pilot flames.
2. measure the capacity, temperature, age, life expectancy or adequacy of the water heater.
3. inspect the interior of flues or chimneys, combustion air systems, water softener or filtering systems, well pumps or tanks, safety or shut-off valves, floor drains, lawn sprinkler systems, or fire sprinkler systems.
4. determine the exact flow rate, volume, pressure, temperature or adequacy of the water supply.
5. determine the water quality, potability or reliability of the water supply or source.
6. open sealed plumbing access panels.
7. inspect clothes washing machines or their connections.
8. operate any valve.
9. test shower pans, tub and shower surrounds or enclosures for leakage or for functional overflow protection.
10. evaluate the compliance with conservation, energy or building standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping.
11. determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices.
12. determine whether there are sufficient cleanouts for effective cleaning of drains.
13. evaluate fuel storage tanks or supply systems.
14. inspect wastewater treatment systems.
15. inspect water treatment systems or water filters.
16. inspect water storage tanks, pressure pumps, or bladder tanks.
17. evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements.
18. evaluate or determine the adequacy of combustion air.
19. test, operate, open or close: safety controls, manual stop valves, temperature/pressure-relief valves, control valves, or check valves.
20. examine ancillary or auxiliary systems or components, such as, but not limited to, those related to solar water heating and hot water circulation.
21. determine the existence or condition of polybutylene, polyethylene, or similar plastic piping.
22. inspect or test for gas or fuel leaks, or indications thereof.

Basement Bathroom
I. The inspector shall inspect:

1. the main water supply shut-off valve;
2. the main fuel supply shut-off valve;
3. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;
4. interior water supply, including all fixtures and faucets, by running the water;
5. all toilets for proper operation by flushing;
6. all sinks, tubs and showers for functional drainage;
7. the drain, waste and vent system; and

8. drainage sump pumps with accessible floats.

II. The inspector shall describe:

1. whether the water supply is public or private based upon observed evidence;
2. the location of the main water supply shut-off valve;
3. the location of the main fuel supply shut-off valve;
4. the location of any observed fuel-storage system; and
5. the capacity of the water heating equipment, if labeled.

III. The inspector shall report as in need of correction:

1. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously;
2. deficiencies in the installation of hot and cold water faucets;
3. active plumbing water leaks that were observed during the inspection; and
4. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

IV. The inspector is not required to:

1. light or ignite pilot flames.
2. measure the capacity, temperature, age, life expectancy or adequacy of the water heater.
3. inspect the interior of flues or chimneys, combustion air systems, water softener or filtering systems, well pumps or tanks, safety or shut-off valves, floor drains, lawn sprinkler systems, or fire sprinkler systems.
4. determine the exact flow rate, volume, pressure, temperature or adequacy of the water supply.
5. determine the water quality, potability or reliability of the water supply or source.
6. open sealed plumbing access panels.
7. inspect clothes washing machines or their connections.
8. operate any valve.
9. test shower pans, tub and shower surrounds or enclosures for leakage or for functional overflow protection.
10. evaluate the compliance with conservation, energy or building standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping.
11. determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices.
12. determine whether there are sufficient cleanouts for effective cleaning of drains.
13. evaluate fuel storage tanks or supply systems.
14. inspect wastewater treatment systems.
15. inspect water treatment systems or water filters.
16. inspect water storage tanks, pressure pumps, or bladder tanks.
17. evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements.
18. evaluate or determine the adequacy of combustion air.
19. test, operate, open or close: safety controls, manual stop valves, temperature/pressure-relief valves, control valves, or check valves.
20. examine ancillary or auxiliary systems or components, such as, but not limited to, those related to solar water heating and hot water circulation.
21. determine the existence or condition of polybutylene, polyethylene, or similar plastic piping.
22. inspect or test for gas or fuel leaks, or indications thereof.

1st Floor Half Bathroom

I. The inspector shall inspect:

1. the main water supply shut-off valve;
2. the main fuel supply shut-off valve;
3. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;
4. interior water supply, including all fixtures and faucets, by running the water;
5. all toilets for proper operation by flushing;
6. all sinks, tubs and showers for functional drainage;
7. the drain, waste and vent system; and
8. drainage sump pumps with accessible floats.

II. The inspector shall describe:

1. whether the water supply is public or private based upon observed evidence;
2. the location of the main water supply shut-off valve;
3. the location of the main fuel supply shut-off valve;
4. the location of any observed fuel-storage system; and
5. the capacity of the water heating equipment, if labeled.

III. The inspector shall report as in need of correction:

1. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously;
2. deficiencies in the installation of hot and cold water faucets;
3. active plumbing water leaks that were observed during the inspection; and
4. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

IV. The inspector is not required to:

1. light or ignite pilot flames.
2. measure the capacity, temperature, age, life expectancy or adequacy of the water heater.
3. inspect the interior of flues or chimneys, combustion air systems, water softener or filtering systems, well pumps or tanks, safety or shut-off valves, floor drains, lawn sprinkler systems, or fire sprinkler systems.
4. determine the exact flow rate, volume, pressure, temperature or adequacy of the water supply.
5. determine the water quality, potability or reliability of the water supply or source.
6. open sealed plumbing access panels.
7. inspect clothes washing machines or their connections.
8. operate any valve.
9. test shower pans, tub and shower surrounds or enclosures for leakage or for functional overflow protection.
10. evaluate the compliance with conservation, energy or building standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping.
11. determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices.
12. determine whether there are sufficient cleanouts for effective cleaning of drains.
13. evaluate fuel storage tanks or supply systems.
14. inspect wastewater treatment systems.
15. inspect water treatment systems or water filters.
16. inspect water storage tanks, pressure pumps, or bladder tanks.
17. evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements.
18. evaluate or determine the adequacy of combustion air.
19. test, operate, open or close: safety controls, manual stop valves, temperature/pressure-relief valves, control valves, or check valves.
20. examine ancillary or auxiliary systems or components, such as, but not limited to, those related to solar water heating and hot water circulation.
21. determine the existence or condition of polybutylene, polyethylene, or similar plastic piping.
22. inspect or test for gas or fuel leaks, or indications thereof.

Garage

. The inspector shall inspect:

1. a representative number of doors and windows by opening and closing them;
2. floors, walls and ceilings;
3. stairs, steps, landings, stairways and ramps;
4. railings, guards and handrails; and
5. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

II. The inspector shall describe:

1. a garage vehicle door as manually-operated or installed with a garage door opener.

III. The inspector shall report as in need of correction:

1. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
2. photo-electric safety sensors that did not operate properly; and
3. any window that was obviously fogged or displayed other evidence of broken seals.

IV. The inspector is not required to:

1. inspect paint, wallpaper, window treatments or finish treatments.
2. inspect floor coverings or carpeting.
3. inspect central vacuum systems.
4. inspect for safety glazing.
5. inspect security systems or components.
6. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures.
7. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
8. move suspended-ceiling tiles.
9. inspect or move any household appliances.
10. inspect or operate equipment housed in the garage, except as otherwise noted.
11. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.

12. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.
13. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.
14. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.
15. inspect microwave ovens or test leakage from microwave ovens.
16. operate or examine any sauna, steam-generating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.
17. inspect elevators.
18. inspect remote controls.
19. inspect appliances.
20. inspect items not permanently installed.
21. discover firewall compromises.
22. inspect pools, spas or fountains.
23. determine the adequacy of whirlpool or spa jets, water force, or bubble effects.
24. determine the structural integrity or leakage of pools or spas.

Air Conditioning

I. The inspector shall inspect:

1. the cooling system, using normal operating controls.

II. The inspector shall describe:

1. the location of the thermostat for the cooling system; and
2. the cooling method.

III. The inspector shall report as in need of correction:

1. any cooling system that did not operate; and
2. if the cooling system was deemed inaccessible.

IV. The inspector is not required to:

1. determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system.
2. inspect portable window units, through-wall units, or electronic air filters.
3. operate equipment or systems if the exterior temperature is below 65° Fahrenheit, or when other circumstances are not conducive to safe operation or may damage the equipment.
4. inspect or determine thermostat calibration, cooling anticipation, or automatic setbacks or clocks.
5. examine electrical current, coolant fluids or gases, or coolant leakage.

Heating System

I. The inspector shall inspect:

1. the heating system, using normal operating controls.

II. The inspector shall describe:

1. the location of the thermostat for the heating system;
2. the energy source; and
3. the heating method.

III. The inspector shall report as in need of correction:

1. any heating system that did not operate; and
2. if the heating system was deemed inaccessible.

IV. The inspector is not required to:

1. inspect, measure, or evaluate the interior of flues or chimneys, fire chambers, heat exchangers, combustion air systems, fresh-air intakes, makeup air, humidifiers, dehumidifiers, electronic air filters, geothermal systems, or solar heating systems.
2. inspect fuel tanks or underground or concealed fuel supply systems.
3. determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating system.
4. light or ignite pilot flames.

5. activate heating, heat pump systems, or other heating systems when ambient temperatures or other circumstances are not conducive to safe operation or may damage the equipment.
6. override electronic thermostats.
7. evaluate fuel quality.
8. verify thermostat calibration, heat anticipation, or automatic setbacks, timers, programs or clocks.
9. measure or calculate the air for combustion, ventilation, or dilution of flue gases for appliances.

Plumbing

. The inspector shall inspect:

1. the main water supply shut-off valve;
2. the main fuel supply shut-off valve;
3. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;
4. interior water supply, including all fixtures and faucets, by running the water;
5. all toilets for proper operation by flushing;
6. all sinks, tubs and showers for functional drainage;
7. the drain, waste and vent system; and
8. drainage sump pumps with accessible floats.

II. The inspector shall describe:

1. whether the water supply is public or private based upon observed evidence;
2. the location of the main water supply shut-off valve;
3. the location of the main fuel supply shut-off valve;
4. the location of any observed fuel-storage system; and
5. the capacity of the water heating equipment, if labeled.

III. The inspector shall report as in need of correction:

1. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously;
2. deficiencies in the installation of hot and cold water faucets;
3. active plumbing water leaks that were observed during the inspection; and
4. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

IV. The inspector is not required to:

1. light or ignite pilot flames.
2. measure the capacity, temperature, age, life expectancy or adequacy of the water heater.
3. inspect the interior of flues or chimneys, combustion air systems, water softener or filtering systems, well pumps or tanks, safety or shut-off valves, floor drains, lawn sprinkler systems, or fire sprinkler systems.
4. determine the exact flow rate, volume, pressure, temperature or adequacy of the water supply.
5. determine the water quality, potability or reliability of the water supply or source.
6. open sealed plumbing access panels.
7. inspect clothes washing machines or their connections.
8. operate any valve.
9. test shower pans, tub and shower surrounds or enclosures for leakage or for functional overflow protection.
10. evaluate the compliance with conservation, energy or building standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping.
11. determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices.
12. determine whether there are sufficient cleanouts for effective cleaning of drains.
13. evaluate fuel storage tanks or supply systems.
14. inspect wastewater treatment systems.
15. inspect water treatment systems or water filters.
16. inspect water storage tanks, pressure pumps, or bladder tanks.
17. evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements.
18. evaluate or determine the adequacy of combustion air.
19. test, operate, open or close: safety controls, manual stop valves, temperature/pressure-relief valves, control valves, or check valves.
20. examine ancillary or auxiliary systems or components, such as, but not limited to, those related to solar water heating and hot water circulation.
21. determine the existence or condition of polybutylene, polyethylene, or similar plastic piping.
22. inspect or test for gas or fuel leaks, or indications thereof.

Electrical
I. The inspector shall inspect: A. the service drop; B. the overhead service conductors and attachment point; C. the service head, gooseneck and drip loops; D. the service mast, service conduit and raceway; E. the electric meter and base; F. service-entrance conductors; G. the main service disconnect; H. panelboards and over-current protection devices (circuit breakers and fuses); I. service grounding and bonding; J. a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible; K. all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible; and L. smoke and carbon-monoxide detectors. II. The inspector shall describe: A. the main service disconnect's amperage rating, if labeled; and B. the type of wiring observed. III. The inspector shall report as in need of correction: A. deficiencies in the integrity of the serviceentrance conductors insulation, drip loop, and vertical clearances from grade and roofs; B. any unused circuit-breaker panel opening that was not filled; C. the presence of solid conductor aluminum branch-circuit wiring, if readily visible; D. any tested receptacle in which power was not present, polarity was incorrect, the cover was not in place, the GFCI devices were not properly installed or did not operate properly, evidence of arcing or excessive heat, and where the receptacle was not grounded or was not secured to the wall; and E. the absence of smoke detectors. IV. The inspector is not required to: A. insert any tool, probe or device into the main panelboard, sub-panels, distribution panelboards, or electrical fixtures. B. operate electrical systems that are shut down. C. remove panelboard cabinet covers or dead fronts. D. operate or re-set over-current protection devices or overload devices. E. operate or test smoke or carbon-monoxide detectors or alarms F. inspect, operate or test any security, fire or alarms systems or components, or other warning or signaling systems. G. measure or determine the amperage or voltage of the main service equipment, if not visibly labeled. H. inspect ancillary wiring or remote-control devices. I. activate any electrical systems or branch circuits that are not energized. J. inspect low-voltage systems, electrical de-icing tapes, swimming pool wiring, or any timecontrolled devices. K. verify the service ground. L. inspect private or emergency electrical supply sources, including, but not limited to: generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility. M. inspect spark or lightning arrestors. N. inspect or test de-icing equipment. O. conduct voltage-drop calculations. P. determine the accuracy of labeling. Q. inspect exterior lighting.

Basement, Crawlspace
I. The inspector shall inspect: A. the foundation; B. the basement; C. the crawlspace; and D. structural components. II. The inspector shall describe: A. the type of foundation; and B. the location of the access to the under-floor space. III. The inspector shall report as in need of correction: A. observed indications of wood in contact with or near soil; B. observed indications of active water penetration; C. observed indications of possible foundation movement, such as sheetrock cracks, brick cracks, out-of-square door frames, and unlevel floors; and D. any observed cutting, notching and boring of framing members that may, in the inspector's opinion, present a structural or safety concern. IV. The inspector is not required to: A. enter any crawlspace that is not readily accessible, or where entry could cause damage or pose a hazard to him/herself. B. move stored items or debris. C. operate sump pumps with inaccessible floats. D. identify the size, spacing, span or location or determine the adequacy of foundation bolting, bracing, joists, joist spans or support systems. E. provide any engineering or architectural service. F. report on the adequacy of any structural system or component.

Structure
I. The inspector shall inspect: A. the foundation; B. the basement; C. the crawlspace; and D. structural components. II. The inspector shall describe: A. the type of foundation; and B. the location of the access to the under-floor space. III. The inspector shall report as in need of correction: A. observed indications of wood in contact with or near soil; B. observed indications of active water penetration; C. observed indications of possible foundation movement, such as sheetrock cracks, brick cracks, out-of-square door frames, and unlevel floors; and D. any observed cutting, notching and boring of framing members that may, in the inspector's opinion, present a structural or safety concern. IV. The inspector is not required to: A. enter any crawlspace that is not readily accessible, or where entry could cause damage or pose a hazard to him/herself. B. move stored items or debris. C. operate sump pumps with inaccessible floats. D. identify the size, spacing, span or location or determine the adequacy of foundation bolting, bracing, joists, joist spans or support systems. E. provide any engineering or architectural service. F. report on the adequacy of any structural system or component.